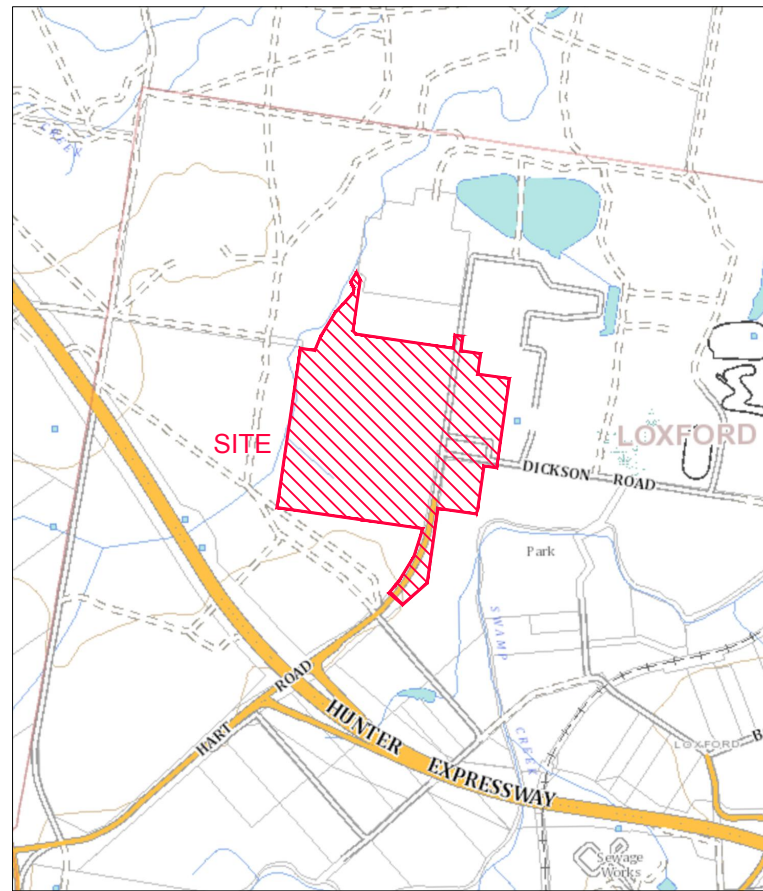


# PROPOSED INDUSTRIAL SUBDIVISION REGROWTH KURRI KURRI STAGE 1 & 2 HART ROAD, LOXFORD NSW

**GENERAL NOTES:-**

1. ALL DIMENSIONS OF EASEMENTS AND LOTS ARE SUBJECT TO REGISTRATION OF DEPOSITED PLAN.
2. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE APPROVED CONSTRUCTION MANAGEMENT PLAN, AND COUNCIL'S ENGINEERING REQUIREMENTS FOR DEVELOPMENTS.
3. THE LOCATION OF ALL EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE CONFIRMED ON SITE AFTER PEGGING OF ROAD LOCATION IN CONSULTATION WITH COUNCIL STAFF PRIOR TO THEIR INSTALLATION. EROSION & SEDIMENT CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO CONSTRUCTION COMMENCING, AND MAINTAINED DURING THE CONTRACT PERIOD UNTIL 60% VEGETATIVE COVER ACHIEVED.
4. ALL CONCRETE STORMWATER DRAINAGE PIPES ARE TO BE RUBBER RING JOINTED REINFORCED CONCRETE PIPES (R.C.P.) OR APPROVED EQUIVALENT.
5. ALL INTERALLOTMENT DRAINAGE TO BE SEWER GRADE uPVC (UNLESS OTHERWISE SHOWN) OR AN APPROVED EQUIVALENT. THE MINIMUM SLOPE OF INTERALLOTMENT DRAINAGE LINES SHALL BE 0.5%. THE INTERALLOTMENT DRAINAGE UNLESS SHOWN OTHERWISE, SHALL BE A MINIMUM OF 0.75m FROM THE BOUNDARY AND LOCATED WITHIN EASEMENT AS SHOWN.
6. ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED AND EXPOSED PRIOR TO EARTHWORKS COMMENCING AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES IN CONJUNCTION WITH THE APPROPRIATE AUTHORITY.
7. SUBSOIL DRAINS ARE TO BE PROVIDED AS LOCATED ON PLANS AND TO COUNCIL INSPECTOR'S SATISFACTION.
8. PAVEMENT THICKNESS AND ASSOCIATED EARTHWORKS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT WITHIN ROADWAYS BY THE PROJECT GEOTECHNICAL ENGINEER.
9. EARTHWORKS SHOULD BE CARRIED OUT IN ACCORDANCE WITH THE RECOMMENDATIONS OUTLINED IN AS3798-2007 'GUIDELINES FOR EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS'. LEVEL 1 SUPERVISION REQUIRED FOR ALL LOT FILL AND FILL GREATER THAN 2M. FOR FILL LESS THAN 2M, LEVEL 2 SUPERVISION IS APPROPRIATE. FILL IS TO BE PLACED IN HORIZONTAL LAYERS WITH COMPACTION OF EACH LAYER TO A MINIMUM DRY DENSITY RATIO OF 95% STANDARD COMPACTION.
10. THE SOURCE OF ROCK FOR EMBANKMENT FACING, RETAINING WALLS, CATCH DRAINS, AND LINED SPILLWAYS SHOULD BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER TO ENSURE THAT THE ROCK IS SUFFICIENTLY DURABLE FOR THE APPLICATION.
11. WORKING HOURS ON SITE SHALL BE IN ACCORDANCE WITH EPA REQUIREMENTS AND CCC CONDITIONS OF CONSENT.
12. VEHICULAR ACCESS AND ALL SERVICES ARE TO BE MAINTAINED AT ALL TIMES TO ADJOINING PROPERTIES AFFECTED BY CONSTRUCTION WORKS.
13. MAINTENANCE ON ALL SEEDED AREAS SHALL BE OVER A 3 MONTH PERIOD.
14. TRAFFIC CONTROL MEASURES TO BE IN ACCORDANCE WITH AS 1742.
15. ALL LEVELS MUST BE OBTAINED FROM ESTABLISHED BENCH MARKS AS DIRECTED BY THE SUPERINTENDENT.
16. THE CONTRACTOR IS TO ENSURE THAT ALL UNDESIRABLE MATERIAL (INCL. VEGETATIVE MATERIAL) IS REMOVED FROM THE SUBGRADE LEVEL OF THE PROPOSED ROAD PRIOR TO ANY ROAD PAVEMENT BEING PLACED.
17. THE CONTRACTOR IS TO ENSURE THAT ALL THE NECESSARY SERVICE PIPE CONDUITS AND FITTINGS ARE IN PLACE PRIOR TO THE KERB BEING PLACED.
18. ALL INTERALLOTMENT DRAINAGE PITS TO BE CONSTRUCTED IN ACCORDANCE WITH CESSNOCK CITY COUNCILS STANDARD DRAWINGS.
19. ALL KERB INLET PITS TO BE CONSTRUCTED IN ACCORDANCE WITH CESSNOCK CITY COUNCILS STANDARD DRAWINGS.
20. ANY STORMWATER PITS OVER 1200mm DEEP REQUIRE INSTALLATION OF STEP IRONS.
21. ALL PITS TO BE BENCHED AND STREAMLINED.
22. ALL HEADWALLS SHALL BE CAST INSITU AND CONSTRUCTED IN ACCORDANCE WITH RTA STD. DRAWING MD.R11.A02.A.1 (MIN. REQUIREMENT) AND CESSNOCK CITY COUNCIL'S STANDARD DRAWING SD12. UNLESS OTHERWISE STATED.
23. MAKE SMOOTH JOIN WITH EXISTING WORKS.
24. CLEARING AND GRUBBING - NO TREES ARE TO BE REMOVED WITHOUT PERMISSION UNLESS OTHERWISE IDENTIFIED OUTSIDE OF LIMIT OF WORKS.
25. SURVEY MARKS ARE TO BE CAREFULLY PRESERVED BY THE CONTRACTOR. DAMAGED DESTROYED OR LOST MARKS WILL BE REPLACED BY THE SUPERVISING SURVEYOR AT THE CONTRACTOR'S EXPENSE.
26. ALL SIGNPOSTING & LINEMARKING TO BE IN ACCORDANCE WITH AS 1742.2 - 1994 PART 2.
27. ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE:
  - SOIL AND WATER MANAGEMENT PLAN.
  - CONSTRUCTION MANAGEMENT PLAN.
  - CESSNOCK CITY COUNCIL CONDITIONS OF DEVELOPMENT CONSENT.
 TREES AND OTHER VEGETATION MAY ONLY BE REMOVED FROM THE SITE OF ROAD, DRAINAGE, BUSHFIRE MITIGATION AND REGRADING WORKS. AN APPLICATION SHALL BE MADE TO COUNCIL FOR THE REMOVAL OF ANY OTHER TREES.
28. TREES AND SHRUBS WHICH ARE FELLED SHALL BE SALVAGED FOR RE-USE, EITHER IN LOG FORM, OR AS A WOODCHIP MULCH FOR EROSION CONTROL AND/OR SITE REHABILITATION. NON-SALVAGEABLE MATERIAL SUCH AS ROOTS AND STUMPS SHALL BE DISPOSED OF IN AN APPROVED MANNER.
29. CONTRACTOR IS TO UNDERTAKE CCTV INSPECTION OF ALL CONSTRUCTED STORMWATER INFRASTRUCTURE, PREPARE FINDINGS AND REPORT TO COUNCIL.
30. SUBSOIL FLUSH POINTS SHOULD BE PROVIDED AT 80m INTERVALS IN ACCORDANCE WITH SECTION 6.8.2 OF COUNCIL'S ENGINEERING REQUIREMENTS FOR DEVELOPMENT.



LOCALITY SKETCH  
NOT TO SCALE

**Sheet List Table**

Sheet Title	Sheet Description
240289(3A)-CENG-001[B]	TITLESHEET, DRAWING INDEX, GENERAL NOTES, & LOCALITY PLAN
240289(3A)-CENG-002[B]	OVERALL SITE PLAN
240289(3A)-CENG-101[B]	ROAD DETAIL PLAN: SHEET 01
240289(3A)-CENG-102[B]	ROAD DETAIL PLAN: SHEET 02
240289(3A)-CENG-103[B]	ROAD DETAIL PLAN: SHEET 03
240289(3A)-CENG-104[B]	ROAD DETAIL PLAN: SHEET 04
240289(3A)-CENG-105[B]	ROAD DETAIL PLAN: SHEET 05
240289(3A)-CENG-106[B]	ROAD DETAIL PLAN: SHEET 06
240289(3A)-CENG-107[B]	ROAD DETAIL PLAN: SHEET 07
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240289(3A)-CENG-111[B]	STAGE 1 DETAIL PLAN
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240289(3A)-CENG-201[B]	ROAD LONGITUDINAL SECTION: DICKSON ROAD
240289(3A)-CENG-202[B]	ROAD LONGITUDINAL SECTION: HART ROAD NORTH
240289(3A)-CENG-203[B]	ROAD LONGITUDINAL SECTION: HART ROAD NORTH
240289(3A)-CENG-204[B]	ROAD LONGITUDINAL SECTION: HART ROAD NORTH
240289(3A)-CENG-205[B]	ROAD LONGITUDINAL SECTION: HART ROAD NORTH
240289(3A)-CENG-206[B]	ROAD LONGITUDINAL SECTION: ROAD MC01
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240289(3A)-CENG-250[B]	TYPICAL ROAD CROSS SECTIONS
240289(3A)-CENG-501[B]	SITE REGRADE PLAN: STAGE 1
240289(3A)-CENG-502[B]	SITE REGRADE PLAN: STAGE 2
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240289(3A)-CENG-603[B]	EROSION AND SEDIMENT CONTROL PLAN: SHEET 03
240289(3A)-CENG-604[B]	EROSION AND SEDIMENT CONTROL PLAN: SHEET 04
240289(3A)-CENG-611[B]	EROSION AND SEDIMENT CONTROL DETAILS

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D	22.11.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.	
E	21.08.2024	REVISED ISSUE	L.S.	H.J.	H.J.	G.A.	

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email: hunter@adwjohnson.com.au  
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ABN 62 129 445 398

CLIENT  
**McCLOY GROUP**

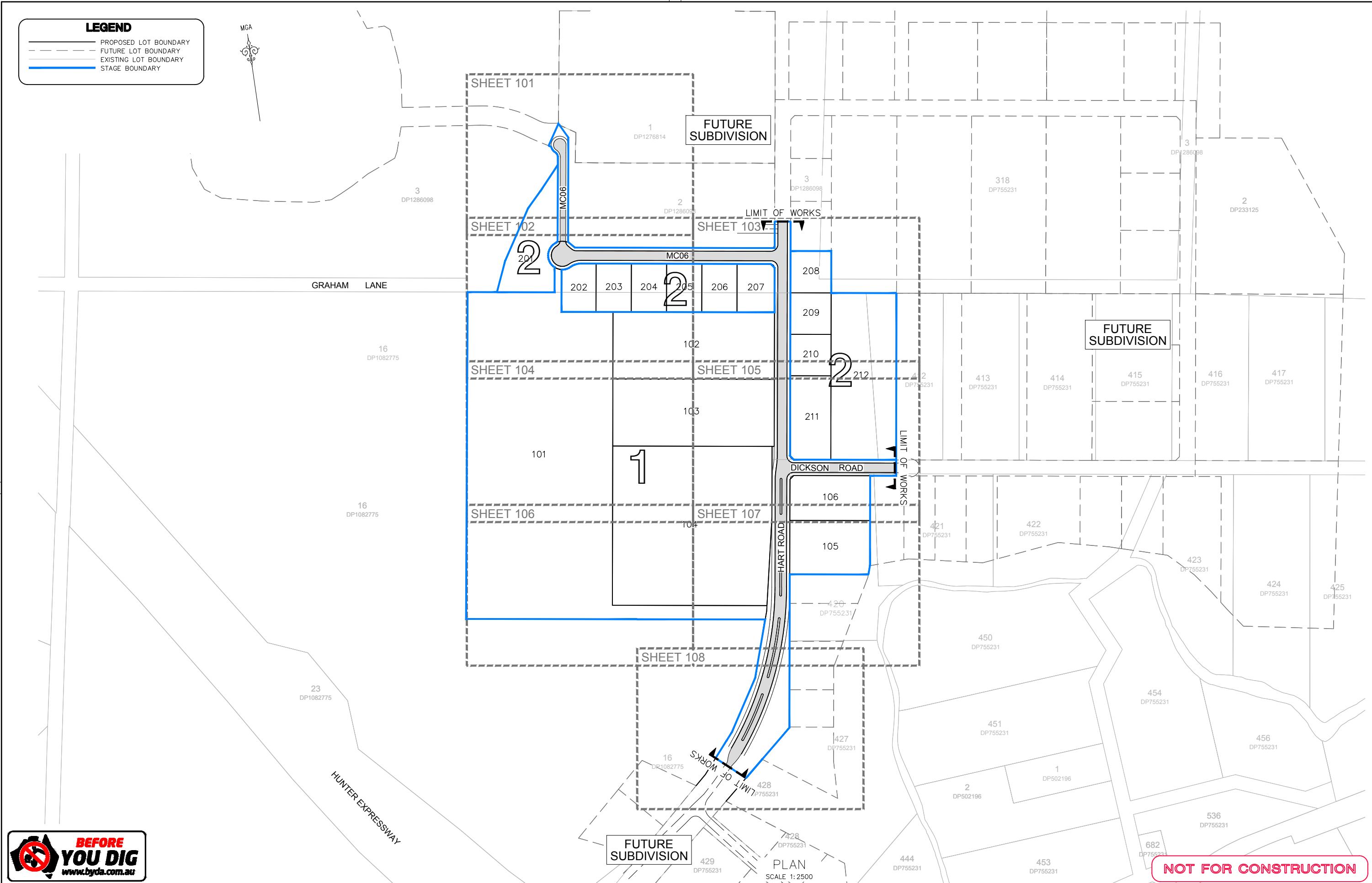
PROPERTY DESCRIPTION  
**REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW**

PROJECT		DISCIPLINE		NUMBER	REV.
PROPOSED INDUSTRIAL		CENG		001	E
PLAN TITLE		TITLESHEET, DRAWING INDEX, GENERAL NOTES, & LOCALITY PLAN			
SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.
ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	240289(3A)	CENG	001	E

NOT FOR CONSTRUCTION

**LEGEND**

- PROPOSED LOT BOUNDARY
- FUTURE LOT BOUNDARY
- EXISTING LOT BOUNDARY
- STAGE BOUNDARY



100mm AT FULL SIZE  
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**NOT FOR CONSTRUCTION**

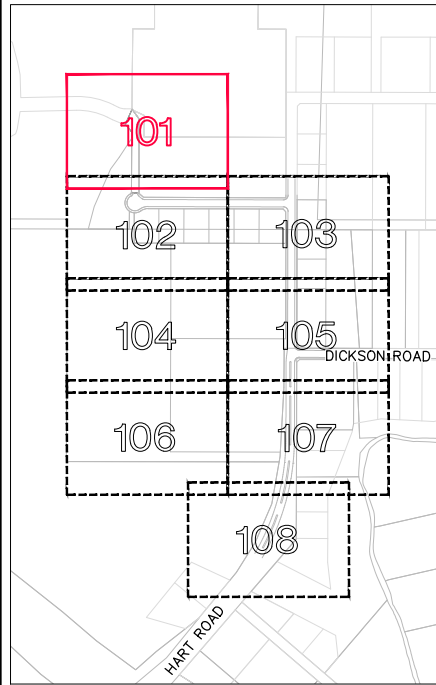
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REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES																																													
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240289(3A)-CENG-101[E]

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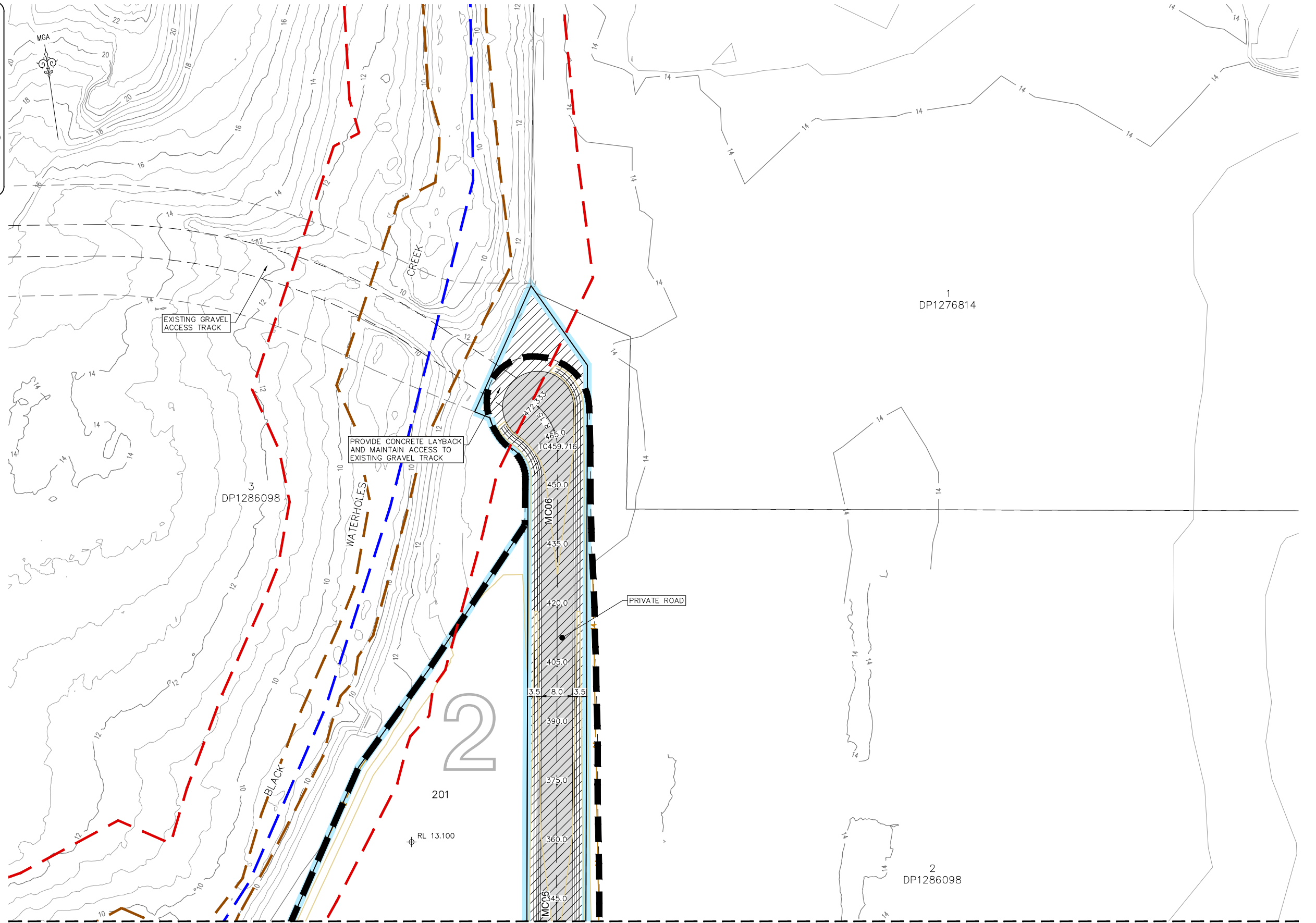
- LIMIT OF CONSTRUCTION
- STAGE BOUNDARY
- PROPOSED LOT BOUNDARY
- FUTURE LOT BOUNDARY
- EXISTING LOT BOUNDARY
- PROPOSED EASEMENT
- PROPOSED KERB
- PROPOSED STORMWATER
- FUTURE STORMWATER
- DESIGN SURFACE CONTOURS
- EXISTING SURFACE CONTOURS
- HYDROLINE (TOPO MAP WATERCOURSES)
- TOP OF BANK
- 20m VEGETATED RIPARIAN ZONE (VRZ)
- PRIVATE ROAD

(A) EASEMENT TO DRAIN WATER  
CONTOUR INTERVAL = 0.5m



**NOTES:**

1. ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED & EXPOSED PRIOR TO EARTHWORKS COMMENCING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES.
2. PULL STORMWATER PIPES TO MAXIMUM ALLOWABLE DEFLECTIONS (SEE MANUFACTURERS SPEC.) TO ENSURE CONTINUATION BENEATH KERB LINE WHERE APPLICABLE.
3. REFER SHEET 250 FOR TYPICAL ROAD CROSS SECTIONS.
4. REFER SHEETS 501 AND 502 FOR SITE REGRADE DETAILS.
5. BATTER AT MAX 1V:4H BETWEEN PROPOSED LOT PAD HEIGHTS.



ADJOINS SHEET 102

PLAN  
SCALE 1:500

**NOT FOR CONSTRUCTION**



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DRAWN	CHECK	DESIGN	VERIFY	SCALES
L.S.	G.A.	T.L.	R.K.	0 10 20 A1 / A3
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**adw Johnson**

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ABN 62 129 445 398

CLIENT

PROPERTY DESCRIPTION	
REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW	
SURVEYED	DATUM
ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.

PROJECT			
PROPOSED INDUSTRIAL			
PLAN TITLE			
ROAD DETAIL PLAN: SHEET 01			
PROJECT No.	DISCIPLINE	NUMBER	REV.
240289(3A)	CENG	101	E

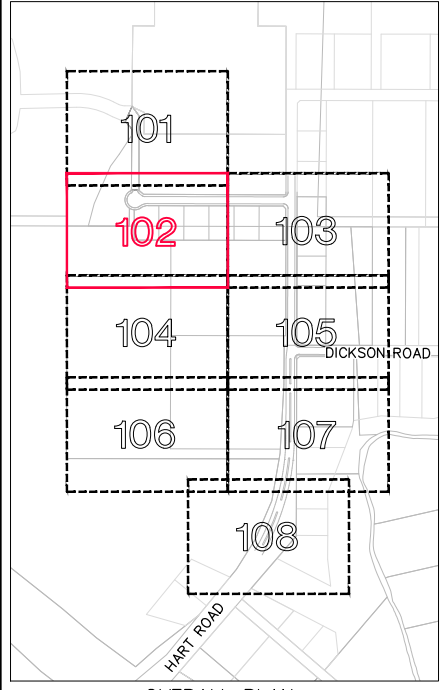
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240289(3A)-CENG-102[E]

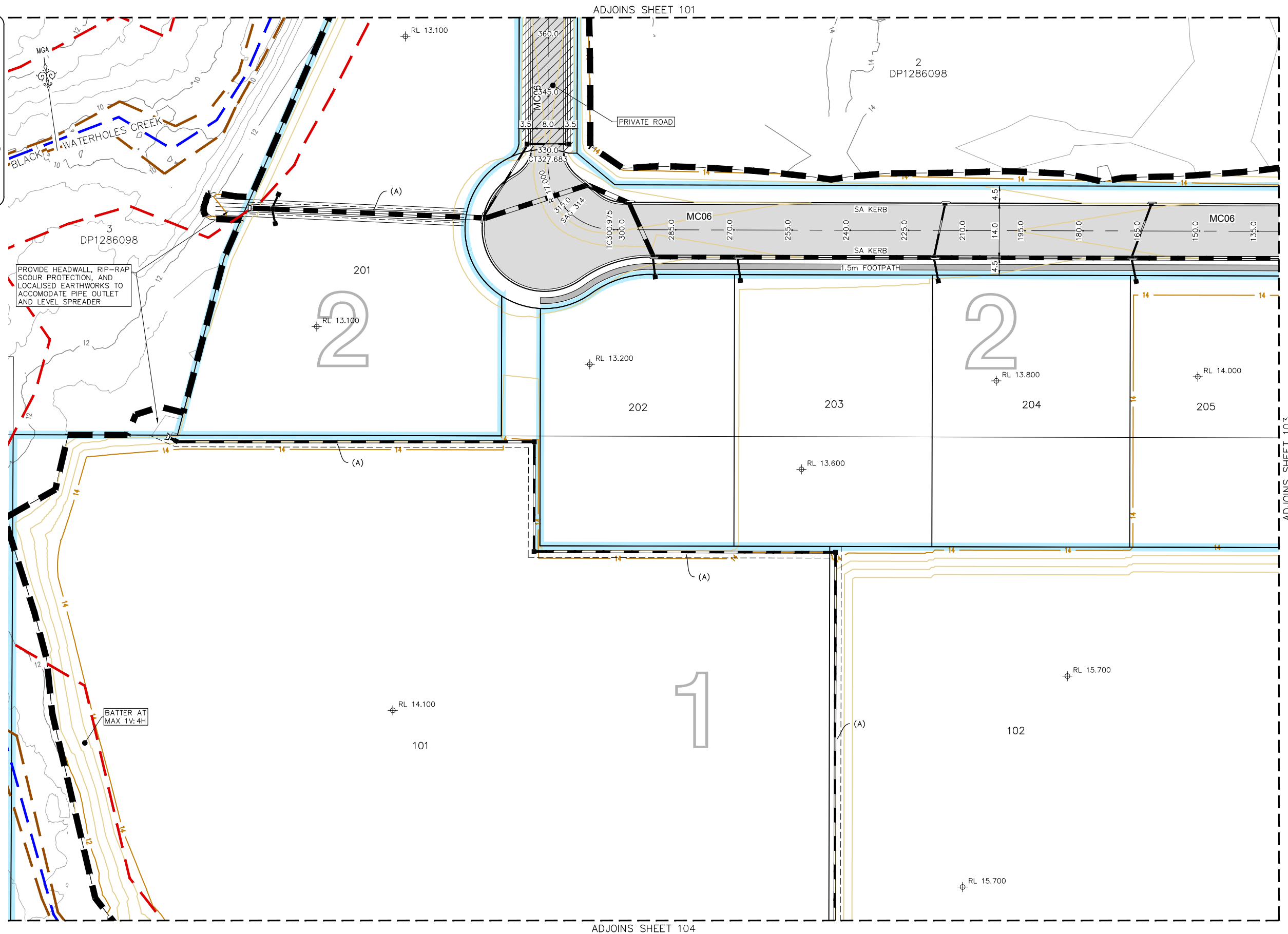
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- LIMIT OF CONSTRUCTION
- STAGE BOUNDARY
- PROPOSED LOT BOUNDARY
- FUTURE LOT BOUNDARY
- EXISTING LOT BOUNDARY
- PROPOSED EASEMENT
- PROPOSED KERB
- PROPOSED STORMWATER
- FUTURE STORMWATER
- DESIGN SURFACE CONTOURS
- EXISTING SURFACE CONTOURS
- HYDROLINE (TOPO MAP WATERCOURSES)
- TOP OF BANK
- 20m VEGETATED RIPARIAN ZONE (VRZ)
- PRIVATE ROAD

(A) EASEMENT TO DRAIN WATER  
CONTOUR INTERVAL = 0.5m



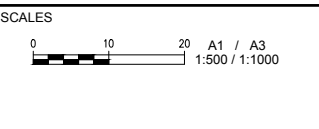
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  - REFER SHEET 250 FOR TYPICAL ROAD CROSS SECTIONS.
  - REFER SHEETS 501 AND 502 FOR SITE REGRADE DETAILS.
  - BATTER AT MAX 1V:4H BETWEEN PROPOSED LOT PAD HEIGHTS.



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DRAWN	CHECK	DESIGN	VERIFY
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D.N.	R.B.	H.J.	R.K.
L.S.	G.A.	T.L.	G.A.
L.S.	G.A.	T.L.	G.A.
L.S.	H.J.	H.J.	G.A.

SCALES
0 10 20 A1 / A3 1:500 / 1:1000



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ABN 62 129 445 398

CLIENT

PROPERTY DESCRIPTION

REGROWTH KURRI KURRI  
INDUSTRIAL STAGE 1 & 2  
LOXFORD NSW

SURVEYED  
ADW Johnson

DATUM  
GDA94 M.G.A. ZONE 56 A.H.D.

PROJECT

PROPOSED INDUSTRIAL

PLAN TITLE

ROAD DETAIL PLAN: SHEET 02

PROJECT No.	DISCIPLINE	NUMBER	REV.
240289(3A)	CENG	102	E

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ADJOINS SHEET 103

ADJOINS SHEET 101

ADJOINS SHEET 104

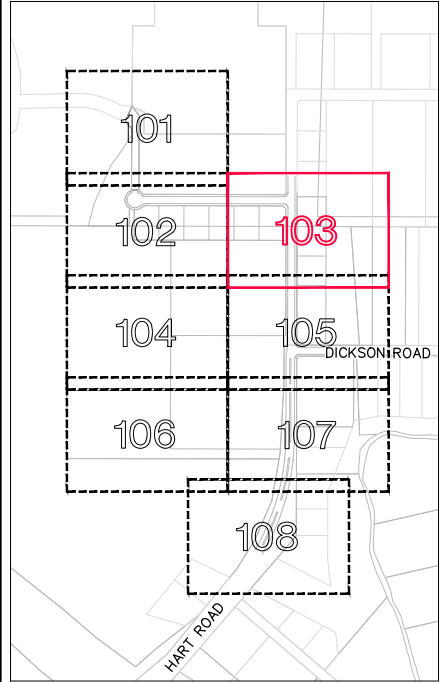
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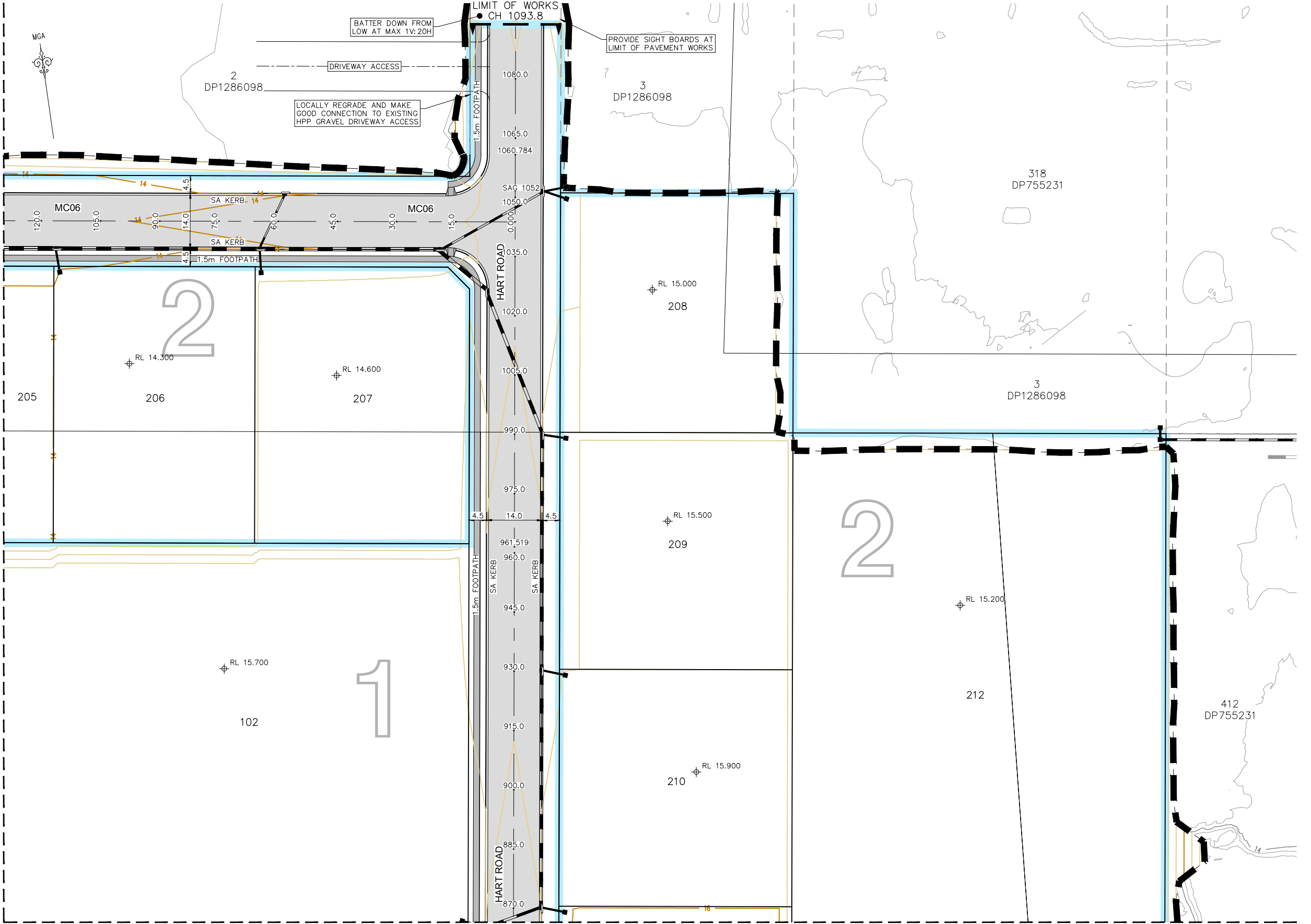
**LEGEND**

- LIMIT OF CONSTRUCTION
- STAGE BOUNDARY
- PROPOSED LOT BOUNDARY
- FUTURE LOT BOUNDARY
- EXISTING LOT BOUNDARY
- PROPOSED EASEMENT
- PROPOSED KERB
- PROPOSED STORMWATER
- FUTURE STORMWATER
- DESIGN SURFACE CONTOURS
- EXISTING SURFACE CONTOURS
- HYDROLINE (TOPO MAP WATERCOURSES)
- TOP OF BANK
- 20m VEGETATED RIPARIAN ZONE (VRZ)

(A) EASEMENT TO DRAIN WATER  
CONTOUR INTERVAL = 0.5m



- NOTES:**
1. ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED & EXPOSED PRIOR TO EARTHWORKS COMMENCING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES.
  2. PULL STORMWATER PIPES TO MAXIMUM ALLOWABLE DEFLECTIONS (SEE MANUFACTURERS SPEC.) TO ENSURE CONTINUATION BENEATH KERB LINE WHERE APPLICABLE.
  3. REFER SHEET 250 FOR TYPICAL ROAD CROSS SECTIONS.
  4. REFER SHEETS 501 AND 502 FOR SITE REGRADE DETAILS.
  5. BATTER AT MAX 1V:4H BETWEEN PROPOSED LOT PAD HEIGHTS.



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CLIENT

PROPERTY DESCRIPTION

REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW

PROJECT

PROPOSED INDUSTRIAL

PLAN TITLE

ROAD DETAIL PLAN: SHEET 03

SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.
ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	240289(3A)	CENG	103	E

**NOT FOR CONSTRUCTION**

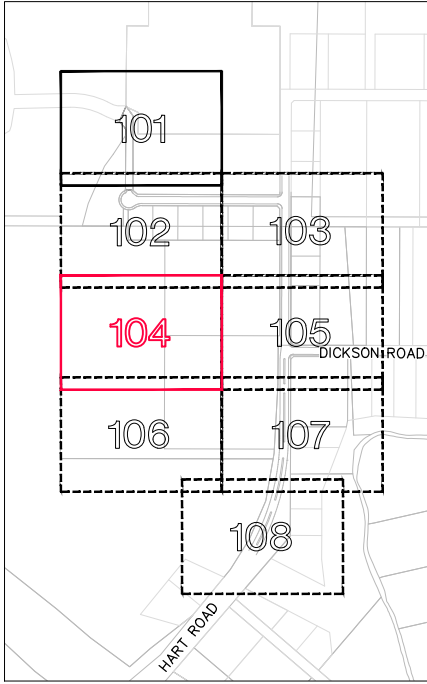
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240289(3A)-CENG-104[E]

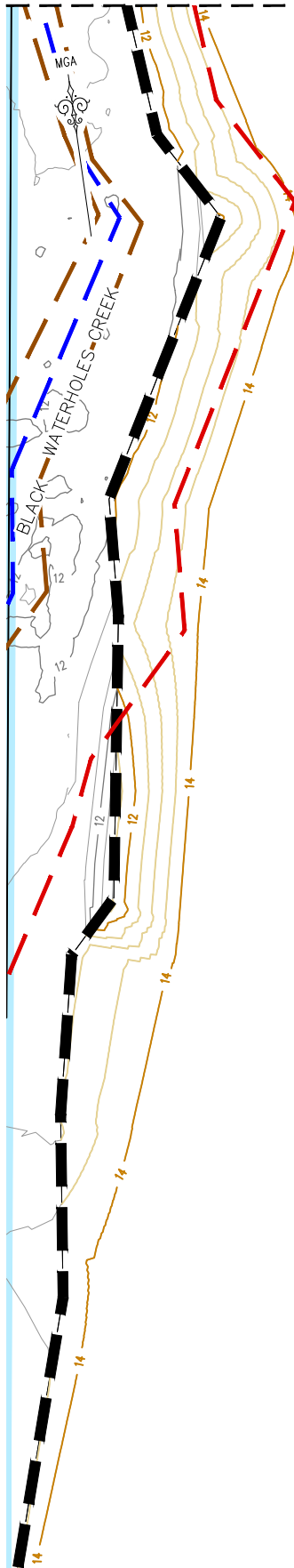
ADJOINS SHEET 102

**LEGEND**

- LIMIT OF CONSTRUCTION
  - STAGE BOUNDARY
  - PROPOSED LOT BOUNDARY
  - FUTURE LOT BOUNDARY
  - EXISTING LOT BOUNDARY
  - PROPOSED EASEMENT
  - PROPOSED KERB
  - PROPOSED STORMWATER
  - FUTURE STORMWATER
  - DESIGN SURFACE CONTOURS
  - EXISTING SURFACE CONTOURS
  - HYDROLINE (TOPO MAP WATERCOURSES)
  - TOP OF BANK
  - 20m VEGETATED RIPARIAN ZONE (VRZ)
- (A) EASEMENT TO DRAIN WATER  
CONTOUR INTERVAL = 0.5m



- NOTES:**
1. ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED & EXPOSED PRIOR TO EARTHWORKS COMMENCING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES.
  2. PULL STORMWATER PIPES TO MAXIMUM ALLOWABLE DEFLECTIONS (SEE MANUFACTURERS SPEC.) TO ENSURE CONTINUATION BENEATH KERB LINE WHERE APPLICABLE.
  3. REFER SHEET 250 FOR TYPICAL ROAD CROSS SECTIONS.
  4. REFER SHEETS 501 AND 502 FOR SITE REGRADE DETAILS.
  5. BATTER AT MAX 1V:4H BETWEEN PROPOSED LOT PAD HEIGHTS.



RL 14.100

1

101

RL 15.700

RL 16.200

103

RL 16.900

104

ADJOINS SHEET 106

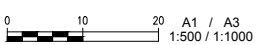
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**NOT FOR CONSTRUCTION**



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E	21.08.2024	REVISED ISSUE

DRAWN	CHECK	DESIGN	VERIFY
L.S.	G.A.	T.L.	R.K.
D.N.	R.B.	H.J.	R.K.
L.S.	G.A.	T.L.	G.A.
L.S.	G.A.	T.L.	G.A.
L.S.	H.J.	H.J.	G.A.



**adw Johnson**

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Fax: (02) 4978 5199  
email: hunter@adwjohnson.com.au  
www.adwjohnson.com.au  
ABN 62 129 445 398

CLIENT

PROPERTY DESCRIPTION

REGROWTH KURRI KURRI  
INDUSTRIAL STAGE 1 & 2  
LOXFORD NSW

PROJECT

PROPOSED INDUSTRIAL

PLAN TITLE

ROAD DETAIL PLAN: SHEET 04

DESIGN FILE	SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.
N:\240289\Design\12D\240289 INDUSTRIAL\240289 INDUSTRIAL.project	ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	240289(3A)	CENG	104	E

100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.

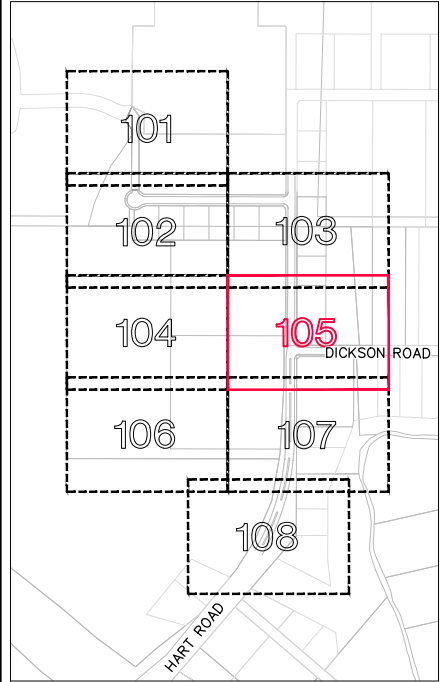
ADJOINS SHEET 105

240289(3A)-CENG-105[E]

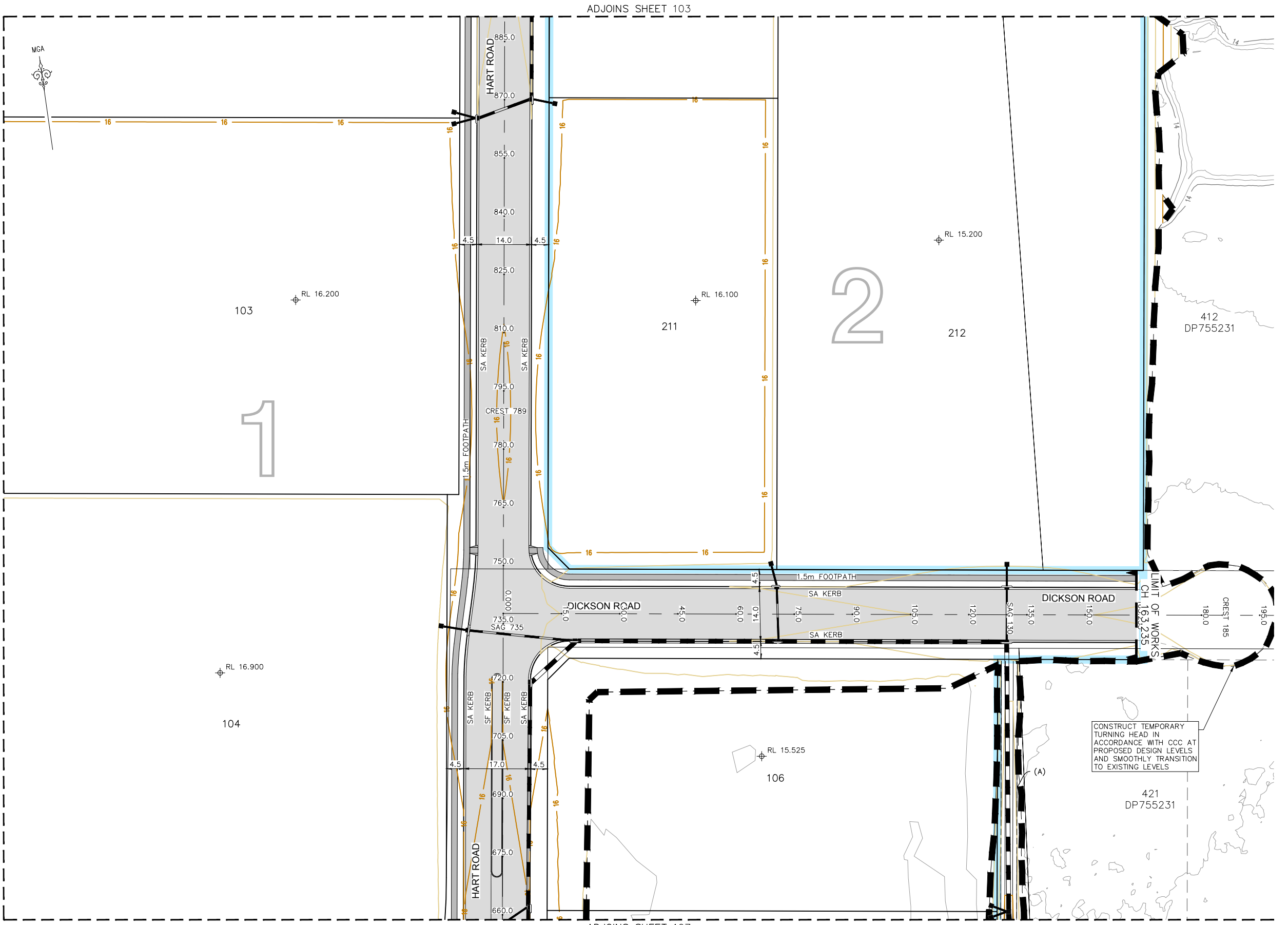
**LEGEND**

- LIMIT OF CONSTRUCTION
- STAGE BOUNDARY
- PROPOSED LOT BOUNDARY
- FUTURE LOT BOUNDARY
- EXISTING LOT BOUNDARY
- PROPOSED EASEMENT
- PROPOSED KERB
- PROPOSED STORMWATER
- FUTURE STORMWATER
- DESIGN SURFACE CONTOURS
- EXISTING SURFACE CONTOURS
- HYDROLINE (TOPO MAP WATERCOURSES)
- TOP OF BANK
- 20m VEGETATED RIPARIAN ZONE (VRZ)

(A) EASEMENT TO DRAIN WATER  
CONTOUR INTERVAL = 0.5m



- NOTES:**
- ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED & EXPOSED PRIOR TO EARTHWORKS COMMENCING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES.
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  - REFER SHEET 250 FOR TYPICAL ROAD CROSS SECTIONS.
  - REFER SHEETS 501 AND 502 FOR SITE REGRADE DETAILS.
  - BATTER AT MAX 1V:4H BETWEEN PROPOSED LOT PAD HEIGHTS.



CONSTRUCT TEMPORARY TURNING HEAD IN ACCORDANCE WITH CCC AT PROPOSED DESIGN LEVELS AND SMOOTHLY TRANSITION TO EXISTING LEVELS



PLAN  
SCALE 1:500

**NOT FOR CONSTRUCTION**

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REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES																																																						
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ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	240289(3A)	CENG	105	E																																																								

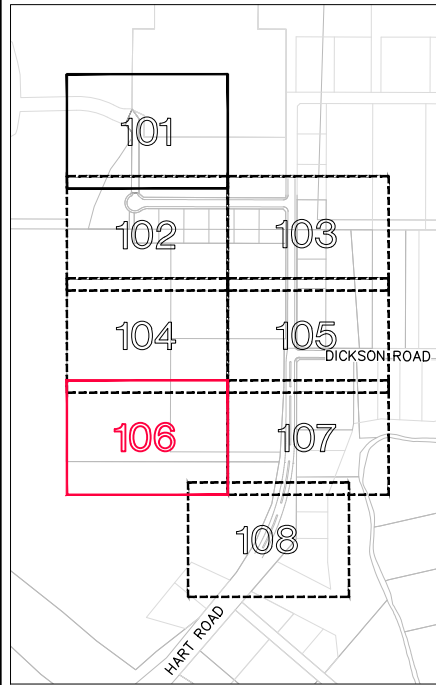
240289(3A)-CENG-106[E]

ADJOINS SHEET 104

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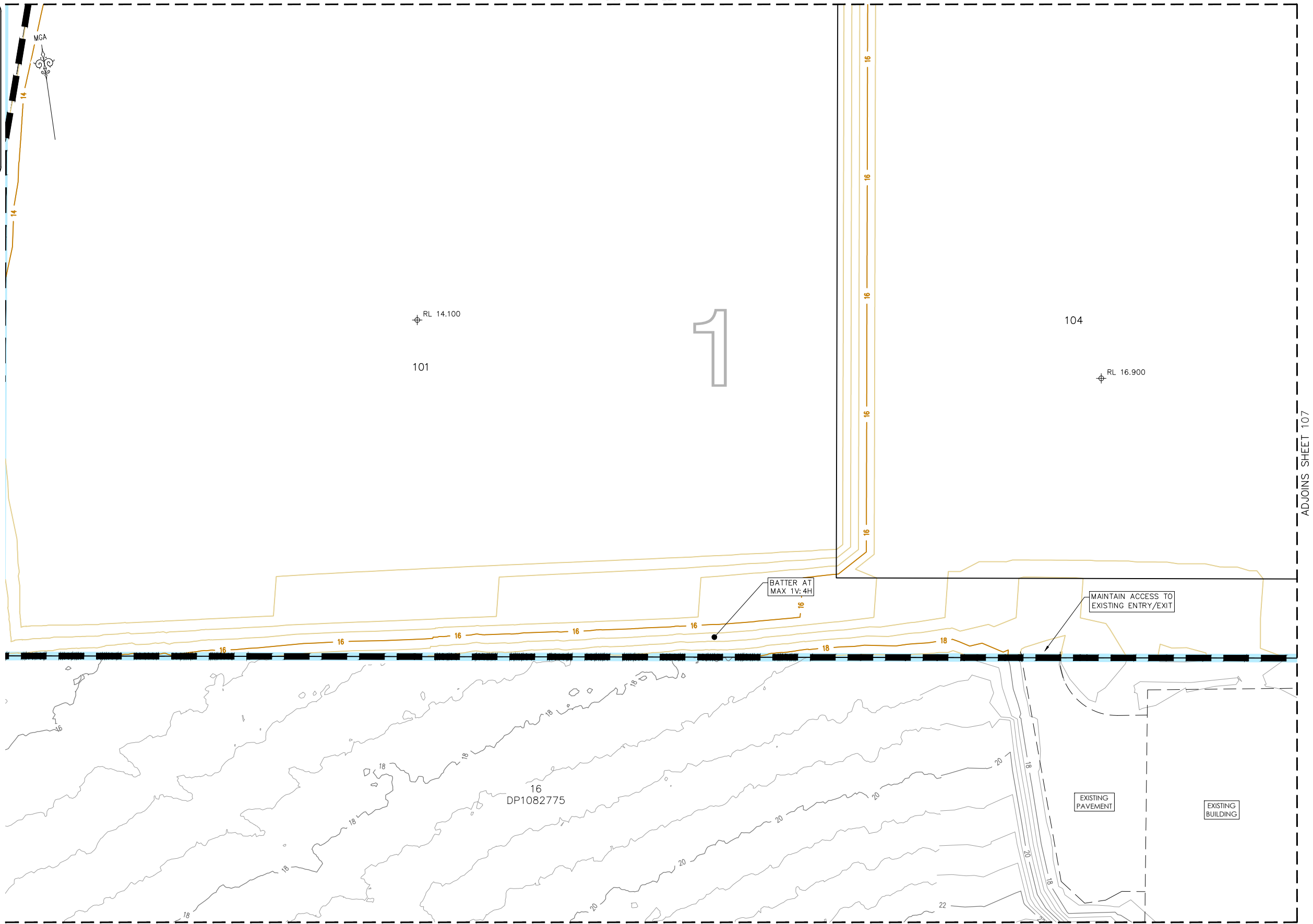
- LIMIT OF CONSTRUCTION
- STAGE BOUNDARY
- PROPOSED LOT BOUNDARY
- FUTURE LOT BOUNDARY
- EXISTING LOT BOUNDARY
- PROPOSED EASEMENT
- PROPOSED KERB
- PROPOSED STORMWATER
- FUTURE STORMWATER
- DESIGN SURFACE CONTOURS
- EXISTING SURFACE CONTOURS
- HYDROLINE (TOPO MAP WATERCOURSES)
- TOP OF BANK
- 20m VEGETATED RIPARIAN ZONE (VRZ)

(A) EASEMENT TO DRAIN WATER  
CONTOUR INTERVAL = 0.5m



**NOTES:**

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3. REFER SHEET 250 FOR TYPICAL ROAD CROSS SECTIONS.
4. REFER SHEETS 501 AND 502 FOR SITE REGRADE DETAILS.
5. BATTER AT MAX 1V:4H BETWEEN PROPOSED LOT PAD HEIGHTS.



ADJOINS SHEET 108

PLAN  
SCALE 1:500

**NOT FOR CONSTRUCTION**



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DRAWN	CHECK	DESIGN	VERIFY
L.S.	G.A.	T.L.	R.K.
D.N.	R.B.	H.J.	R.K.
L.S.	G.A.	T.L.	G.A.
L.S.	G.A.	T.L.	G.A.
L.S.	H.J.	H.J.	G.A.

SCALES

0 10 20 A1 / A3  
1:500 / 1:1000

**adw Johnson**

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Fax: (02) 4978 5199  
email: hunter@adwjohnson.com.au  
www.adwjohnson.com.au  
ABN 62 129 445 398

CLIENT

PROPERTY DESCRIPTION

REGROWTH KURRI KURRI  
INDUSTRIAL STAGE 1 & 2  
LOXFORD NSW

SURVEYED  
ADW Johnson

DATUM  
GDA94 M.G.A. ZONE 56 A.H.D.

PROJECT			
PROPOSED INDUSTRIAL			
PLAN TITLE			
ROAD DETAIL PLAN: SHEET 06			
PROJECT No.	DISCIPLINE	NUMBER	REV.
240289(3A)	CENG	106	E

100mm AT FULL SIZE  
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ADJOINS SHEET 107

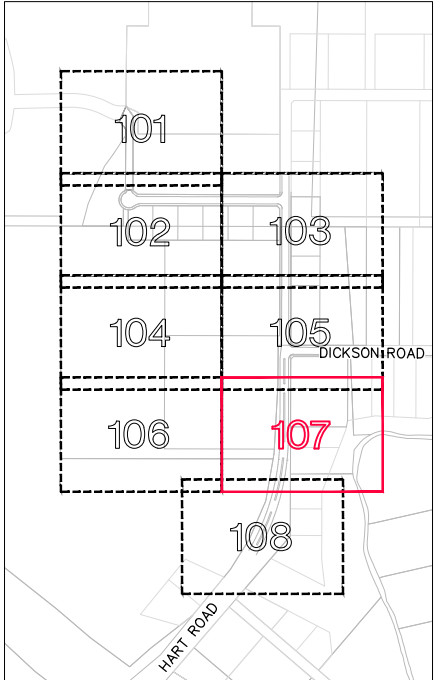


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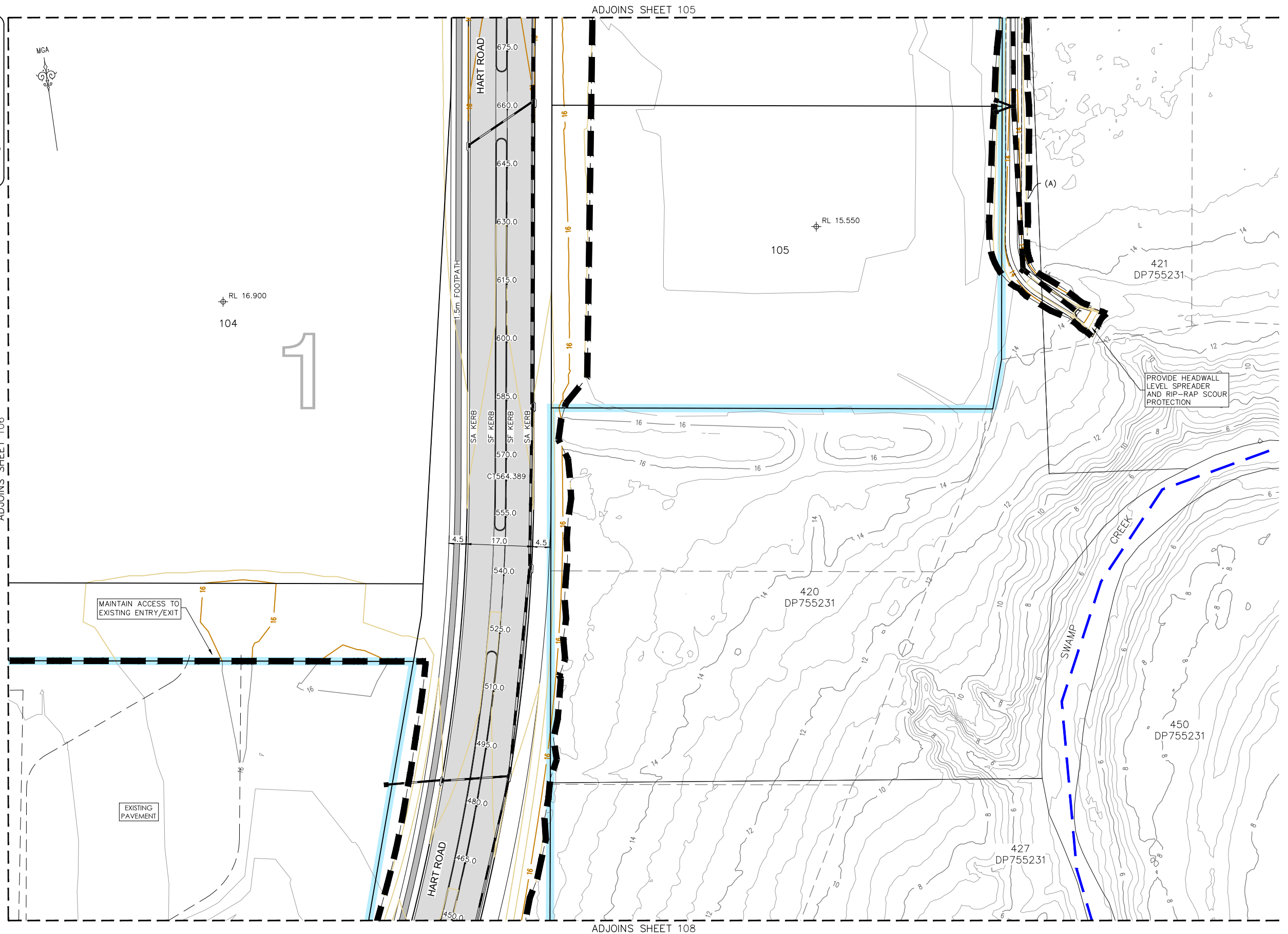
**LEGEND**

- LIMIT OF CONSTRUCTION
- STAGE BOUNDARY
- PROPOSED LOT BOUNDARY
- FUTURE LOT BOUNDARY
- EXISTING LOT BOUNDARY
- PROPOSED EASEMENT
- PROPOSED KERB
- PROPOSED STORMWATER
- FUTURE STORMWATER
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- HYDROLINE (TOPO MAP WATERCOURSES)
- TOP OF BANK
- 20m VEGETATED RIPARIAN ZONE (VRZ)

(A) EASEMENT TO DRAIN WATER  
CONTOUR INTERVAL = 0.5m



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  - BATTER AT MAX 1V:4H BETWEEN PROPOSED LOT PAD HEIGHTS.

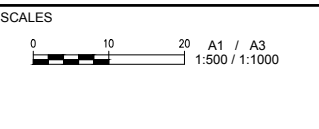


100mm AT FULL SIZE  
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D	22.11.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.
E	21.08.2024	REVISED ISSUE	L.S.	H.J.	H.J.	G.A.

SCALE
0 10 20 A1 / A3 1:500 / 1:1000



**adw Johnson**

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ABN 62 129 445 398

CLIENT

PROPERTY DESCRIPTION

REGROWTH KURRI KURRI  
INDUSTRIAL STAGE 1 & 2  
LOXFORD NSW

SURVEYED  
ADW Johnson

DATUM  
GDA94 M.G.A. ZONE 56 A.H.D.

PROJECT

PROPOSED INDUSTRIAL

PLAN TITLE

ROAD DETAIL PLAN: SHEET 07

PROJECT No.	DISCIPLINE	NUMBER	REV.
240289(3A)	CENG	107	E

**NOT FOR CONSTRUCTION**

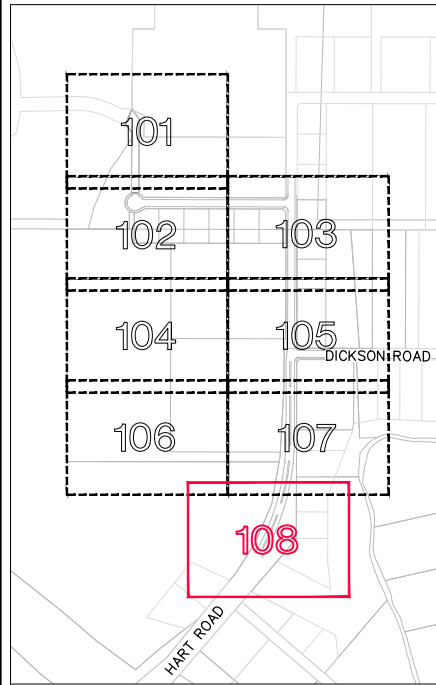
240289(3A)-CENG-108[E]

ADJOINS SHEETS 106 & 107

**LEGEND**

- LIMIT OF CONSTRUCTION
- STAGE BOUNDARY
- PROPOSED LOT BOUNDARY
- FUTURE LOT BOUNDARY
- EXISTING LOT BOUNDARY
- PROPOSED EASEMENT
- PROPOSED KERB
- PROPOSED STORMWATER
- FUTURE STORMWATER
- DESIGN SURFACE CONTOURS
- EXISTING SURFACE CONTOURS
- HYDROLINE (TOPO MAP WATERCOURSES)
- TOP OF BANK
- 20m VEGETATED RIPARIAN ZONE (VRZ)

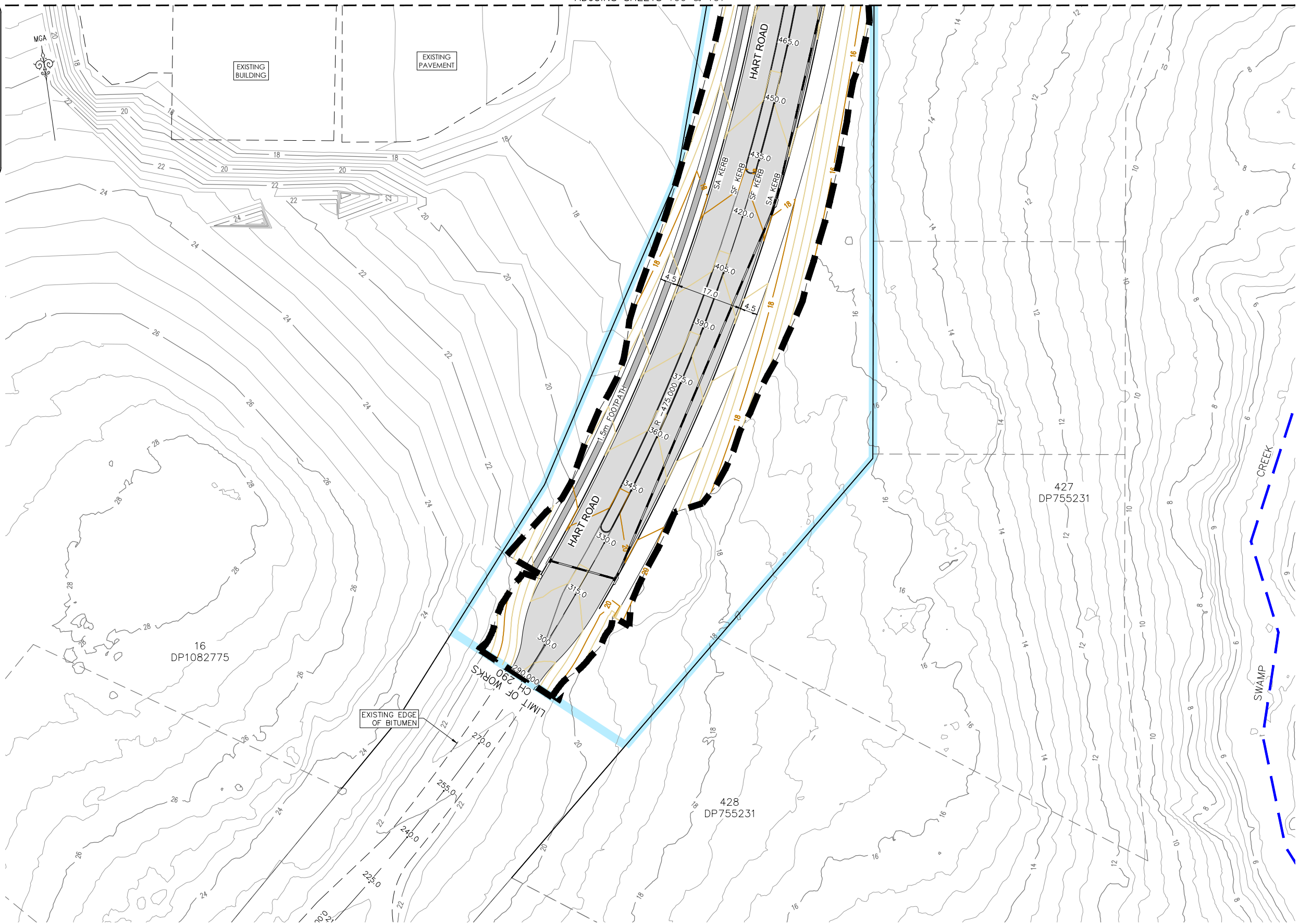
(A) EASEMENT TO DRAIN WATER  
CONTOUR INTERVAL = 0.5m



OVERALL PLAN

**NOTES:**

1. ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED & EXPOSED PRIOR TO EARTHWORKS COMMENCING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES.
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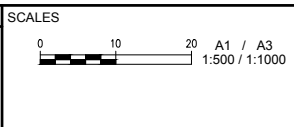
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DRAWN	CHECK	DESIGN	VERIFY
L.S.	G.A.	T.L.	R.K.
D.N.	R.B.	H.J.	R.K.
L.S.	G.A.	T.L.	G.A.
L.S.	G.A.	T.L.	G.A.
L.S.	H.J.	H.J.	G.A.



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ABN 62 129 445 398

CLIENT

PROPERTY DESCRIPTION		
REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW		
SURVEYED	DATUM	
ADW Johnson	GDA94 M.G.A. ZONE 56	A.H.D.

PROJECT			
PROPOSED INDUSTRIAL			
PLAN TITLE			
ROAD DETAIL PLAN: SHEET 08			
PROJECT No.	DISCIPLINE	NUMBER	REV.
240289(3A)	CENG	108	E

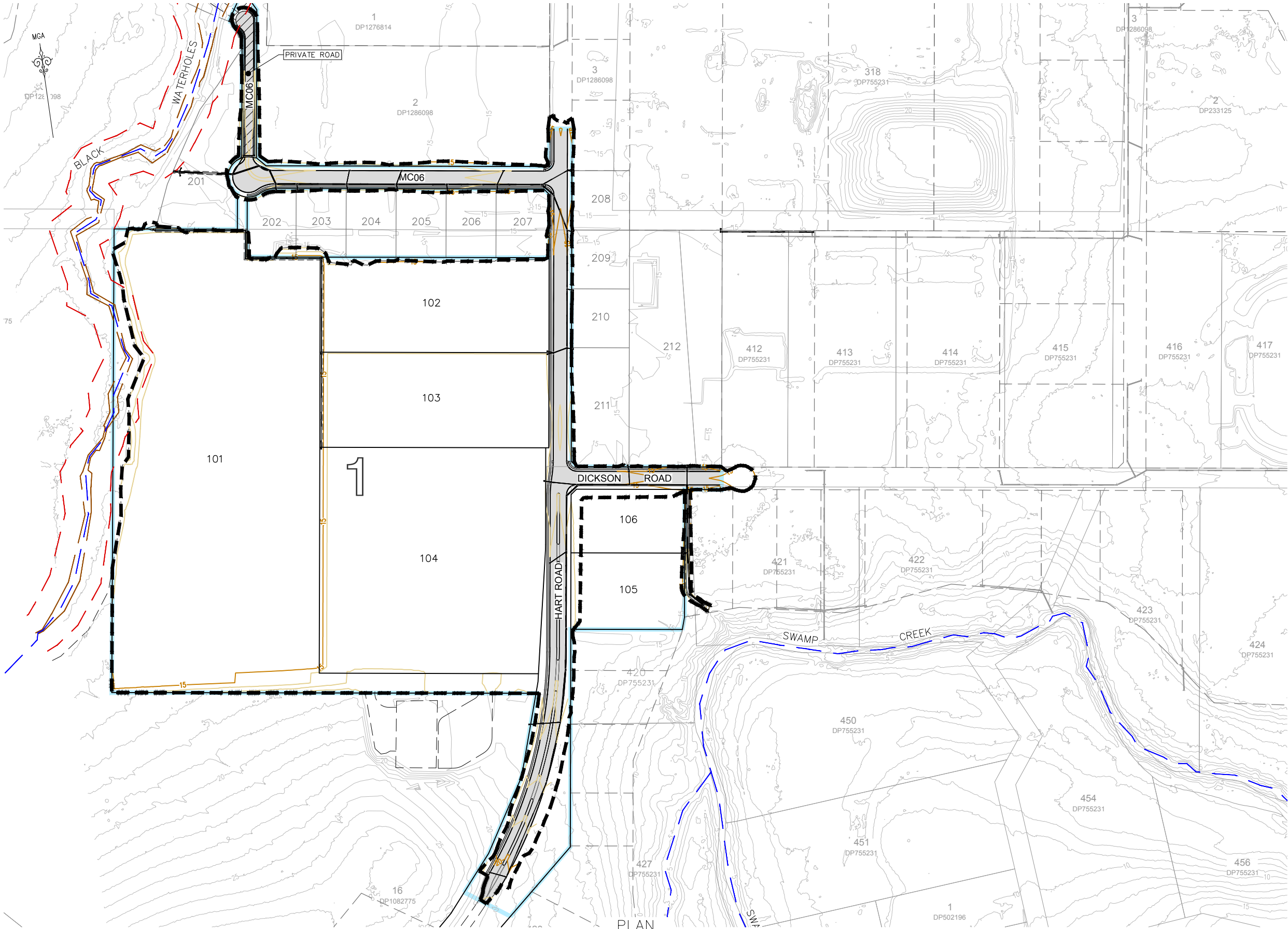
100mm AT FULL SIZE  
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240289(3A)-CENG-111[E]

**LEGEND**

- LIMIT OF CONSTRUCTION
- STAGE BOUNDARY
- PROPOSED LOT BOUNDARY
- FUTURE LOT BOUNDARY
- EXISTING LOT BOUNDARY
- PROPOSED EASEMENT
- PROPOSED KERB
- PROPOSED STORMWATER
- FUTURE STORMWATER
- DESIGN SURFACE CONTOURS
- EXISTING SURFACE CONTOURS
- HYDROLINE (TOPO MAP WATERCOURSES)
- TOP OF BANK
- 20m VEGETATED RIPARIAN ZONE (VRZ)
- PRIVATE ROAD

(A) EASEMENT TO DRAIN WATER  
CONTOUR INTERVAL = 0.5m



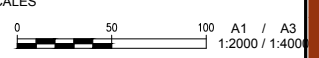
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DRAWN	CHECK	DESIGN	VERIFY
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D.N.	R.B.	H.J.	R.K.
L.S.	G.A.	T.L.	G.A.
L.S.	G.A.	T.L.	G.A.
L.S.	H.J.	H.J.	G.A.



**adw Johnson**

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ABN 62 129 445 398

CLIENT

PROPERTY DESCRIPTION

REGROWTH KURRI KURRI  
INDUSTRIAL STAGE 1 & 2  
LOXFORD NSW

SURVEYED: ADW Johnson  
DATUM: GDA94 M.G.A. ZONE 56 A.H.D.

PROJECT			
PROPOSED INDUSTRIAL			
PLAN TITLE			
STAGE 1 DETAIL PLAN			
PROJECT No.	DISCIPLINE	NUMBER	REV.
240289(3A)	CENG	111	E

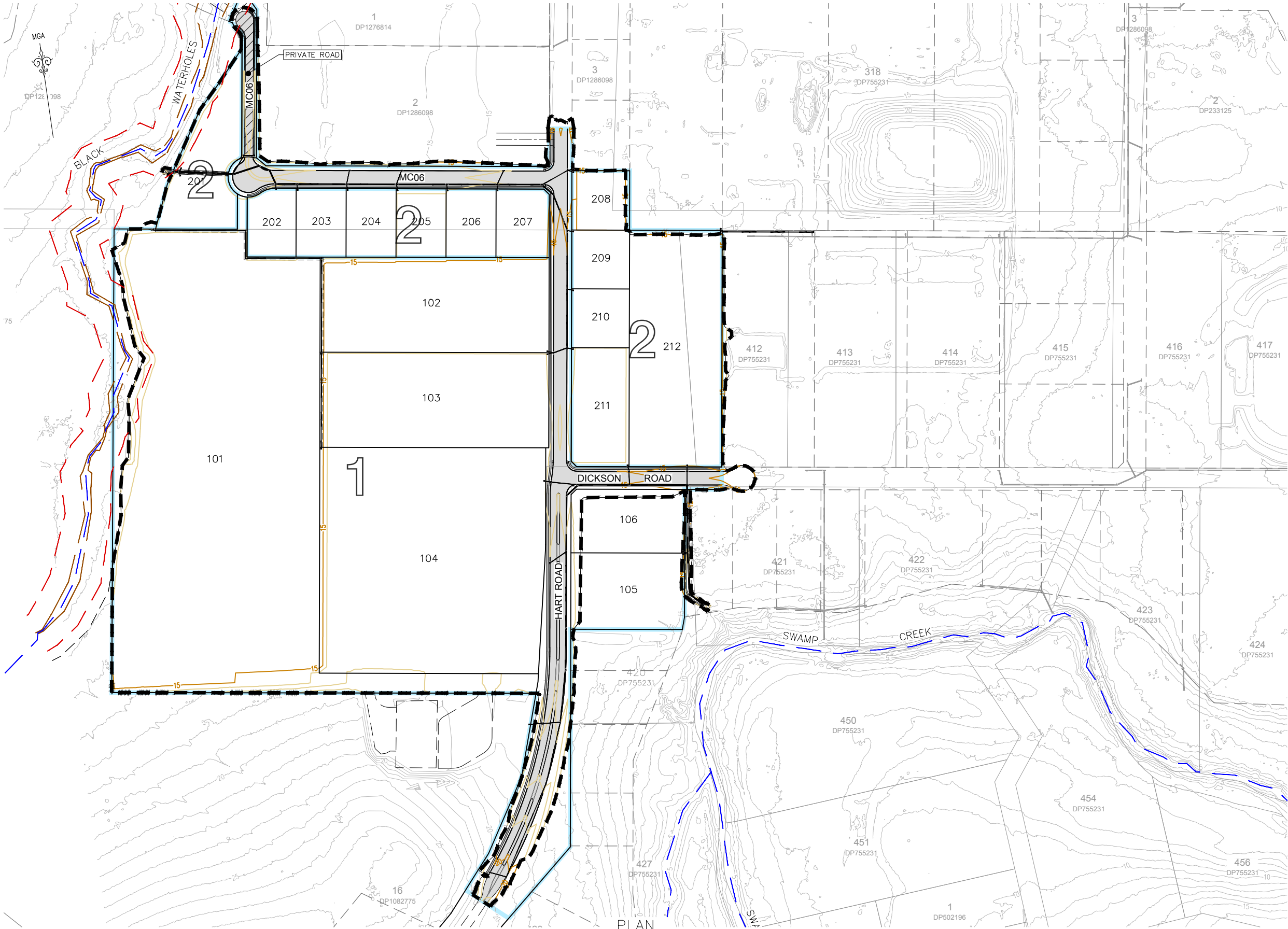
100mm AT FULL SIZE  
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240289(3A)-CENG-112[E]

**LEGEND**

- LIMIT OF CONSTRUCTION
- STAGE BOUNDARY
- PROPOSED LOT BOUNDARY
- FUTURE LOT BOUNDARY
- EXISTING LOT BOUNDARY
- PROPOSED EASEMENT
- PROPOSED KERB
- PROPOSED STORMWATER
- FUTURE STORMWATER
- DESIGN SURFACE CONTOURS
- EXISTING SURFACE CONTOURS
- HYDROLINE (TOPO MAP WATERCOURSES)
- TOP OF BANK
- 20m VEGETATED RIPARIAN ZONE (VRZ)
- PRIVATE ROAD

(A) EASEMENT TO DRAIN WATER  
CONTOUR INTERVAL = 0.5m



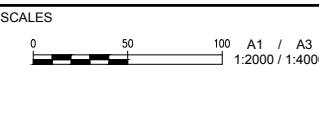
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L.S.	G.A.	T.L.	R.K.
D.N.	R.B.	H.J.	R.K.
L.S.	G.A.	T.L.	G.A.
L.S.	G.A.	T.L.	G.A.
L.S.	H.J.	H.J.	G.A.



**adw Johnson**

Hunter Office  
Unit 7/335 Hillsborough Rd  
Warners Bay N.S.W. 2282  
Phone: (02) 4978 5100  
Fax: (02) 4978 5199  
email: hunter@adwjohnson.com.au  
www.adwjohnson.com.au  
ABN 62 129 445 398

CLIENT

PROPERTY DESCRIPTION

REGROWTH KURRI KURRI  
INDUSTRIAL STAGE 1 & 2  
LOXFORD NSW

SURVEYED  
ADW Johnson

DATUM  
GDA94 M.G.A. ZONE 56 A.H.D.

PROJECT			
PROPOSED INDUSTRIAL			
PLAN TITLE			
STAGE 2 DETAIL PLAN			
PROJECT No.	DISCIPLINE	NUMBER	REV.
240289(3A)	CENG	112	E

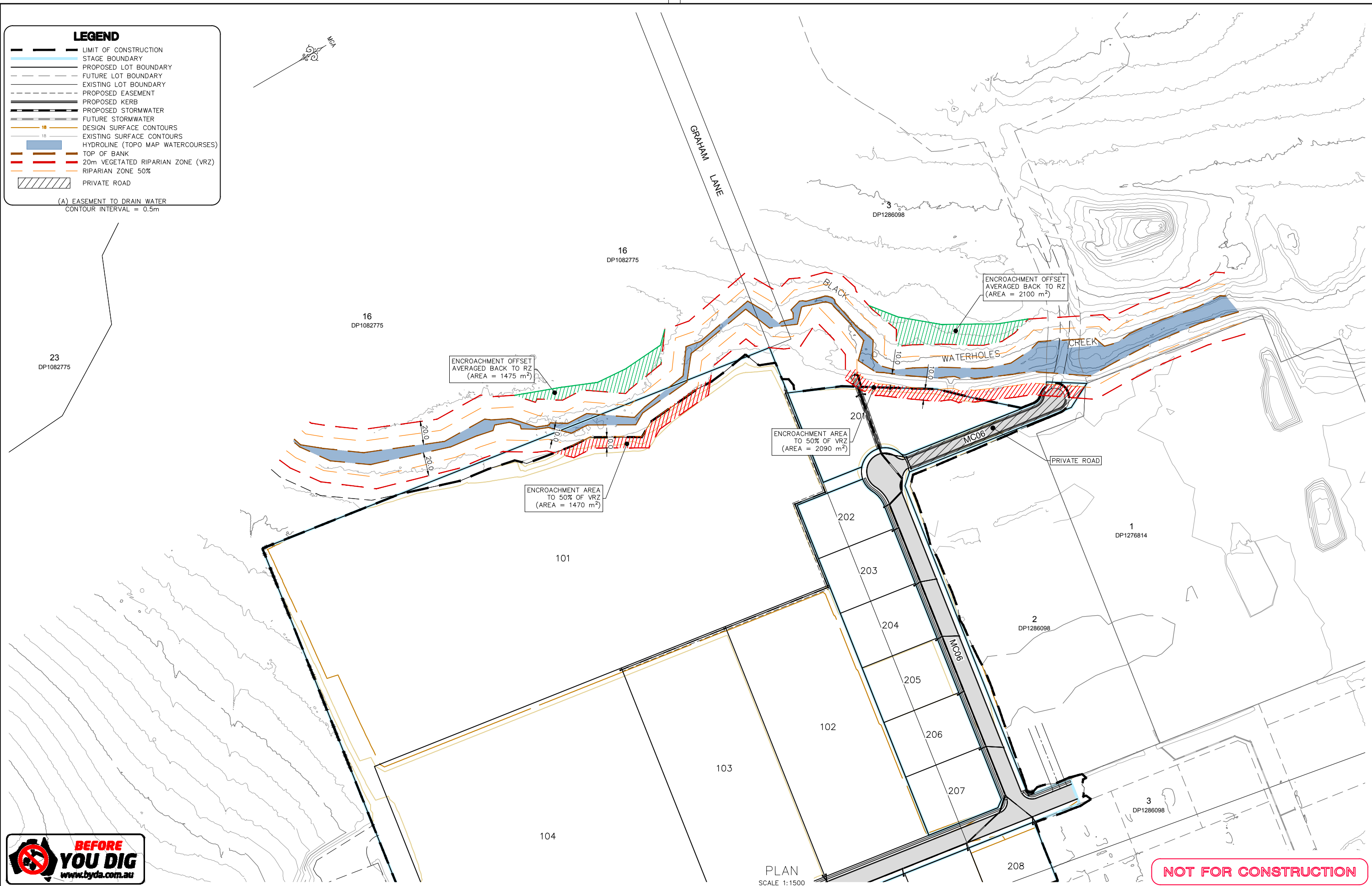
100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.

240289(3A)-CENG-120[E]

LEGEND	
	LIMIT OF CONSTRUCTION
	STAGE BOUNDARY
	PROPOSED LOT BOUNDARY
	FUTURE LOT BOUNDARY
	EXISTING LOT BOUNDARY
	PROPOSED EASEMENT
	PROPOSED KERB
	PROPOSED STORMWATER
	FUTURE STORMWATER
	DESIGN SURFACE CONTOURS
	EXISTING SURFACE CONTOURS
	HYDROLINE (TOPO MAP WATERCOURSES)
	TOP OF BANK
	20m VEGETATED RIPARIAN ZONE (VRZ)
	RIPARIAN ZONE 50%
	PRIVATE ROAD

(A) EASEMENT TO DRAIN WATER  
CONTOUR INTERVAL = 0.5m

100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.



REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY
A	08.02.2023	INITIAL ISSUE	L.S.	G.A.	T.L.	R.K.
B	02.06.2023	REVISED ISSUE	D.N.	R.B.	H.J.	R.K.
C	12.10.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.
D	22.11.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.
E	21.08.2024	REVISED ISSUE	L.S.	H.J.	H.J.	G.A.

SCALES	
0 15 30 45 60	A1 / A3 1:1500 / 1:3000

**adw Johnson**  
Hunter Office  
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Phone: (02) 4978 5100  
Fax: (02) 4978 5199  
email: hunter@adwjohnson.com.au  
www.adwjohnson.com.au  
ABN 62 129 445 398

CLIENT  
**McCLOY GROUP**

PROPERTY DESCRIPTION		
REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW		
SURVEYED	DATUM	
ADW Johnson	GDA94 M.G.A. ZONE 56	A.H.D.

PROJECT			
PROPOSED INDUSTRIAL			
PLAN TITLE			
VEGETATION RIPARIAN ZONE			
PROJECT No.	DISCIPLINE	NUMBER	REV.
240289(3A)	CENG	120	E

**NOT FOR CONSTRUCTION**



EXISTING

STAGE 1



LONGITUDINAL SECTION Hart Road North

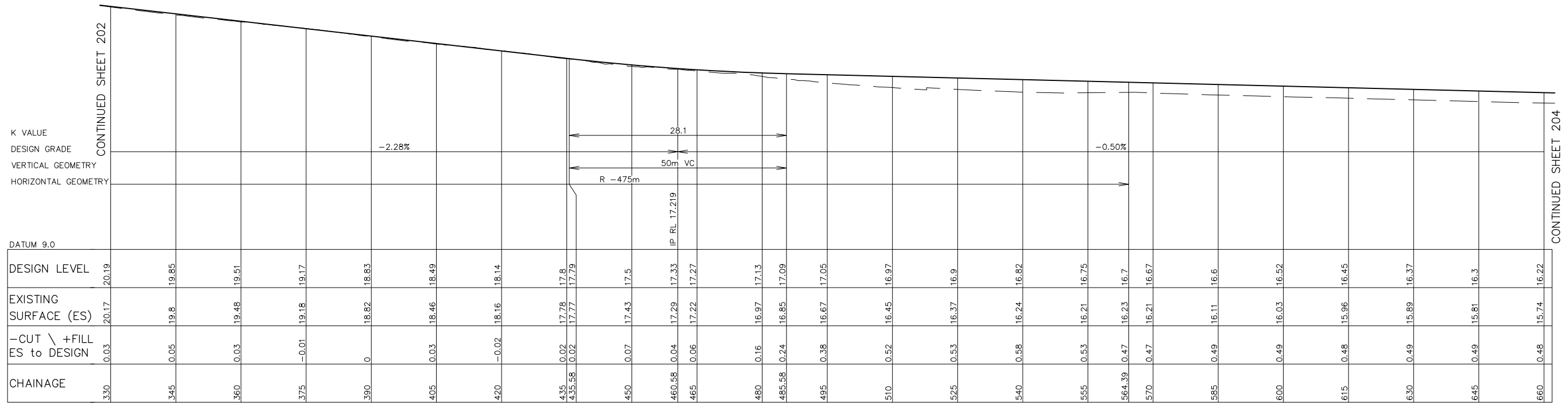
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VERTICAL SCALE 1:100



NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES	CLIENT	PROPERTY DESCRIPTION	PROJECT			
A	08.02.2023	INITIAL ISSUE	L.S.	G.A.	T.L.	R.K.	VERT 0 2 4 1:100 / 1:200 HORIZ 0 10 20 1:500 / 1:1000	Hunter Office Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW	PROPOSED INDUSTRIAL			
B	02.06.2023	REVISED ISSUE	D.N.	R.B.	H.J.	R.K.				PLAN TITLE			
C	12.10.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.				ROAD LONGITUDINAL SECTION: HART ROAD NORTH			
D	22.11.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.				PROJECT No.	DISCIPLINE	NUMBER	REV.
E	21.08.2024	REVISED ISSUE	L.S.	H.J.	H.J.	G.A.				ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	240289(3A)	CENG

S T A G E 1



LONGITUDINAL SECTION Hart Road North

HORIZONTAL SCALE 1:500  
VERTICAL SCALE 1:100



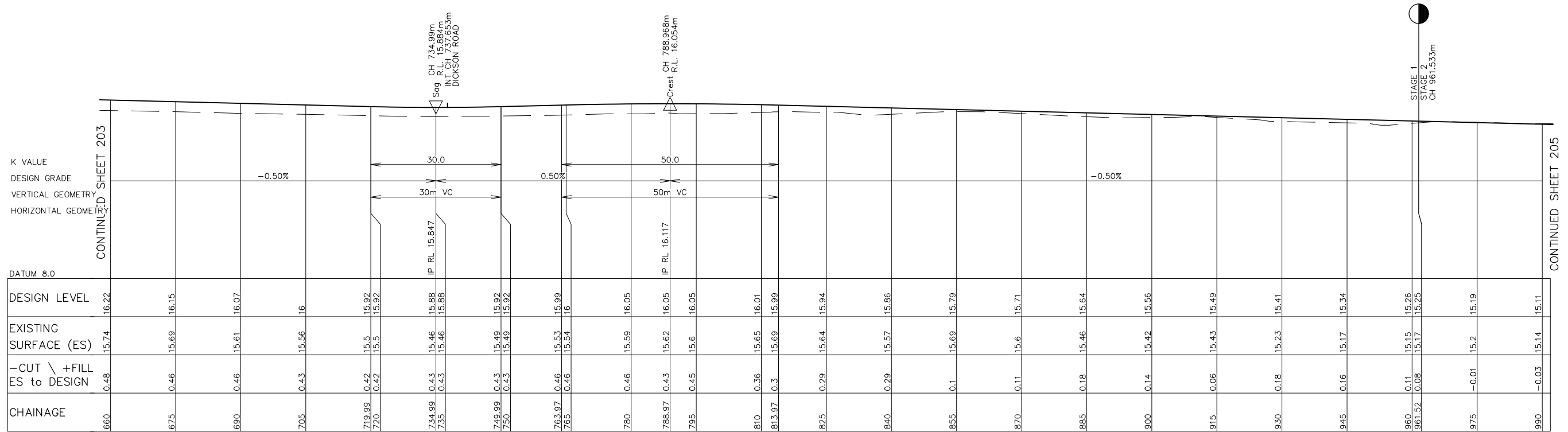
NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES	CLIENT	PROPERTY DESCRIPTION	PROJECT									
A	08.02.2023	INITIAL ISSUE	L.S.	G.A.	T.L.	R.K.	VERT 0 2 4 A1 / A3 1:100 / 1:200 HORIZ 0 10 20 A1 / A3 1:500 / 1:1000	Hunter Office Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW	PROPOSED INDUSTRIAL									
B	02.06.2023	REVISED ISSUE	D.N.	R.B.	H.J.	R.K.				PLAN TITLE									
C	12.10.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.				ROAD LONGITUDINAL SECTION: HART ROAD NORTH									
D	22.11.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.				PROJECT No.									
E	21.08.2024	REVISED ISSUE	L.S.	H.J.	H.J.	G.A.				DISCIPLINE									
DESIGN FILE N:\240289\Design\120\240289 INDUSTRIAL\240289 INDUSTRIAL.project							ALL DIMENSIONS ARE IN METRES U.N.O. DO NOT SCALE	CLIENT	ADW Johnson	DATUM	GDA94 M.G.A. ZONE 56 A.H.D.	PROJECT No.	240289(3A)	DISCIPLINE	CENG	NUMBER	203	REV.	E



S T A G E 1

S T A G E 2



LONGITUDINAL SECTION Hart Road North

HORIZONTAL SCALE 1:500  
VERTICAL SCALE 1:100

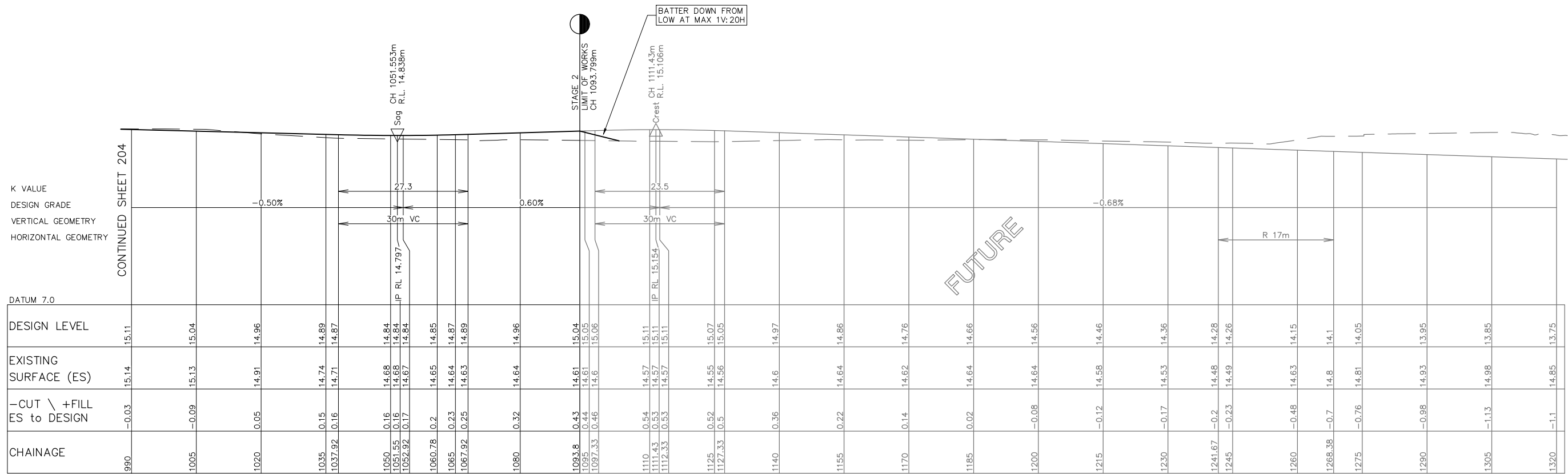


NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES	CLIENT	PROPERTY DESCRIPTION	PROJECT
A	08.02.2023	INITIAL ISSUE	L.S.	G.A.	T.L.	R.K.	VERT 0 2 4 1:100 / 1:200	Hunter Office Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW	PROPOSED INDUSTRIAL
B	02.06.2023	REVISED ISSUE	D.N.	R.B.	H.J.	R.K.				PLAN TITLE
C	12.10.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.	HORIZ 0 10 20 1:500 / 1:1000			ROAD LONGITUDINAL SECTION: HART ROAD NORTH
D	22.11.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.				PROJECT No.
E	21.08.2024	REVISED ISSUE	L.S.	H.J.	H.J.	G.A.				DISCIPLINE
DESIGN FILE N:\240289\Design\120\240289 INDUSTRIAL\240289 INDUSTRIAL.project										NUMBER
ALL DIMENSIONS ARE IN METRES U.N.O. DO NOT SCALE										REV.
Plotted By: Leah Swain Plot Date: 23/08/24 11:59:06AM Cad File: N:\240289\240289(3A)\DWG\ENGINEERING\CENG\240289(3A)-CENG-204[E].DWG										E

STAGE 2

FUTURE



LONGITUDINAL SECTION Hart Road North

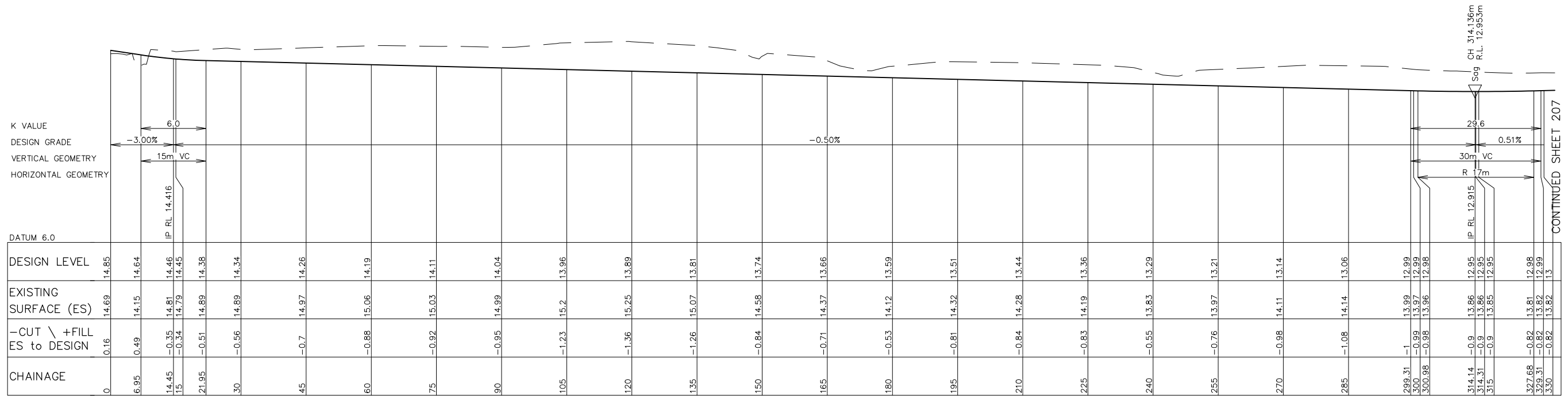
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VERTICAL SCALE 1:100



NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES	CLIENT	PROPERTY DESCRIPTION	PROJECT				
A	08.02.2023	INITIAL ISSUE	L.S.	G.A.	T.L.	R.K.		<b>Hunter Office</b> Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW	PROPOSED INDUSTRIAL				
B	02.06.2023	REVISED ISSUE	D.N.	R.B.	H.J.	R.K.					McCLOY GROUP	ROAD LONGITUDINAL SECTION: HART ROAD NORTH		
C	12.10.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.								
D	22.11.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.								
E	21.08.2024	REVISED ISSUE	L.S.	H.J.	H.J.	G.A.								
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S T A G E 2



LONGITUDINAL SECTION MC06

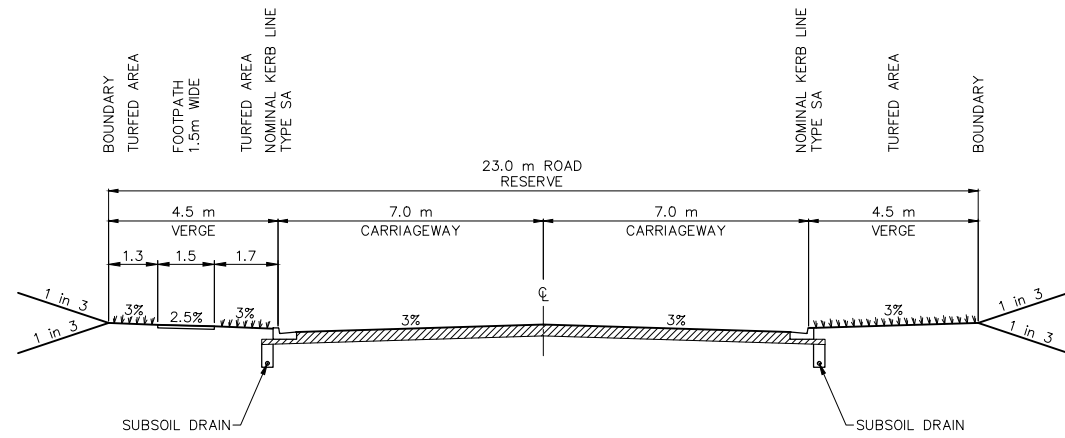
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VERTICAL SCALE 1:100



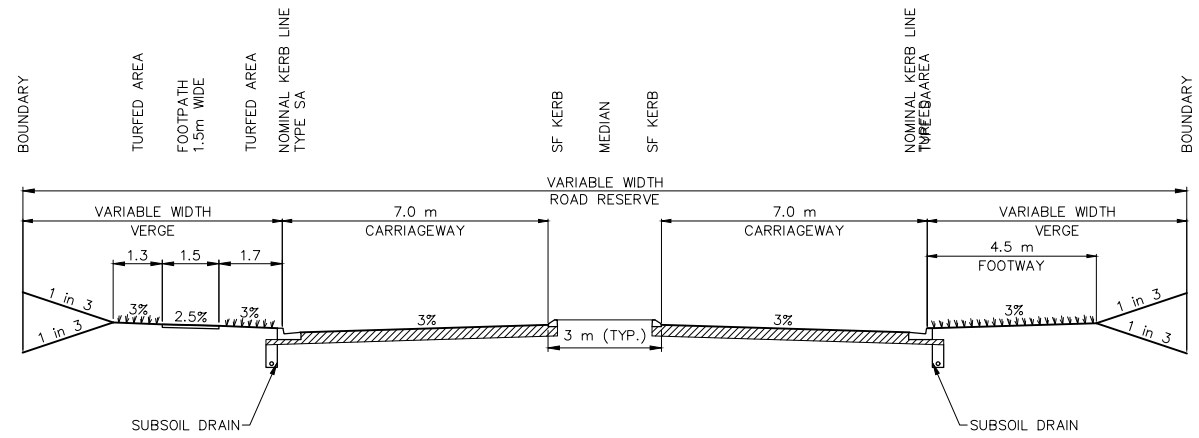
NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES	CLIENT	PROPERTY DESCRIPTION	PROJECT				
A	08.02.2023	INITIAL ISSUE	L.S.	G.A.	T.L.	R.K.	VERT 0 2 4 A1 / A3 1:100 / 1:200 HORIZ 0 10 20 A1 / A3 1:500 / 1:1000	Hunter Office Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW	PROPOSED INDUSTRIAL				
B	02.06.2023	REVISED ISSUE	D.N.	R.B.	H.J.	R.K.				PLAN TITLE				
C	12.10.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.				ROAD LONGITUDINAL SECTION: ROAD MC01				
D	22.11.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.				PROJECT No.				
E	21.08.2024	REVISED ISSUE	L.S.	H.J.	H.J.	G.A.				DISCIPLINE				
DESIGN FILE N:\240289\Design\120\240289 INDUSTRIAL\240289 INDUSTRIAL.project			ALL DIMENSIONS ARE IN METRES U.N.O. DO NOT SCALE					ADW Johnson		GDA94 M.G.A. ZONE 56 A.H.D.		240289(3A) - CENG - 206	NUMBER	REV.
										206	E			

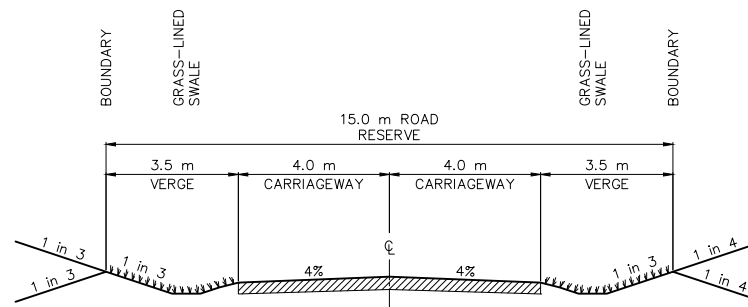




TYPICAL CROSS SECTION:  
DICKSON ROAD, HART ROAD (CH752.377 TO LOW),  
MC06 (CH0.00 TO CH291.234)  
SCALE 1:100 NATURAL



TYPICAL CROSS SECTION:  
HART ROAD (CH320 TO CH718.368)  
SCALE 1:100 NATURAL



TYPICAL CROSS SECTION: MC06  
(CH333.313 TO CH452.485)  
SCALE 1:100 NATURAL

100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.



NOT FOR CONSTRUCTION

<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>AMENDMENT</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>08.02.2023</td> <td>INITIAL ISSUE</td> </tr> <tr> <td>B</td> <td>02.06.2023</td> <td>REVISED ISSUE</td> </tr> <tr> <td>C</td> <td>12.10.2023</td> <td>REVISED ISSUE</td> </tr> <tr> <td>D</td> <td>22.11.2023</td> <td>REVISED ISSUE</td> </tr> <tr> <td>E</td> <td>21.08.2024</td> <td>REVISED ISSUE</td> </tr> </tbody> </table>		REV.	DATE	AMENDMENT	A	08.02.2023	INITIAL ISSUE	B	02.06.2023	REVISED ISSUE	C	12.10.2023	REVISED ISSUE	D	22.11.2023	REVISED ISSUE	E	21.08.2024	REVISED ISSUE	<table border="1"> <thead> <tr> <th>DRAWN</th> <th>CHECK</th> <th>DESIGN</th> <th>VERIFY</th> </tr> </thead> <tbody> <tr> <td>L.S.</td> <td>G.A.</td> <td>T.L.</td> <td>R.K.</td> </tr> <tr> <td>D.N.</td> <td>R.B.</td> <td>H.J.</td> <td>R.K.</td> </tr> <tr> <td>L.S.</td> <td>G.A.</td> <td>T.L.</td> <td>G.A.</td> </tr> <tr> <td>L.S.</td> <td>G.A.</td> <td>T.L.</td> <td>G.A.</td> </tr> <tr> <td>L.S.</td> <td>H.J.</td> <td>H.J.</td> <td>G.A.</td> </tr> </tbody> </table>		DRAWN	CHECK	DESIGN	VERIFY	L.S.	G.A.	T.L.	R.K.	D.N.	R.B.	H.J.	R.K.	L.S.	G.A.	T.L.	G.A.	L.S.	G.A.	T.L.	G.A.	L.S.	H.J.	H.J.	G.A.	<p>SCALES</p> <p>0 1 2 3 4 A1 / A3 1:100 / 1:200</p>		<p><b>adw Johnson</b></p> <p>Hunter Office Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398</p>		<p>CLIENT</p>		<p>PROPERTY DESCRIPTION</p> <p>REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 &amp; 2 LOXFORD NSW</p>		<p>PROJECT</p> <p>PROPOSED INDUSTRIAL</p>	
REV.	DATE	AMENDMENT																																																					
A	08.02.2023	INITIAL ISSUE																																																					
B	02.06.2023	REVISED ISSUE																																																					
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L.S.	G.A.	T.L.	R.K.																																																				
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L.S.	G.A.	T.L.	G.A.																																																				
L.S.	G.A.	T.L.	G.A.																																																				
L.S.	H.J.	H.J.	G.A.																																																				
								<p>DATUM</p> <p>GDA94 M.G.A. ZONE 56 A.H.D.</p>		<p>PLAN TITLE</p> <p>TYPICAL ROAD CROSS SECTIONS</p>																																													
								<p>SURVEYED</p> <p>ADW Johnson</p>		<p>PROJECT No.</p> <p>240289(3A) - CENG - 250</p>																																													
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								<p>REV.</p> <p>E</p>																																															

240289(3A)-CENG-501[E]

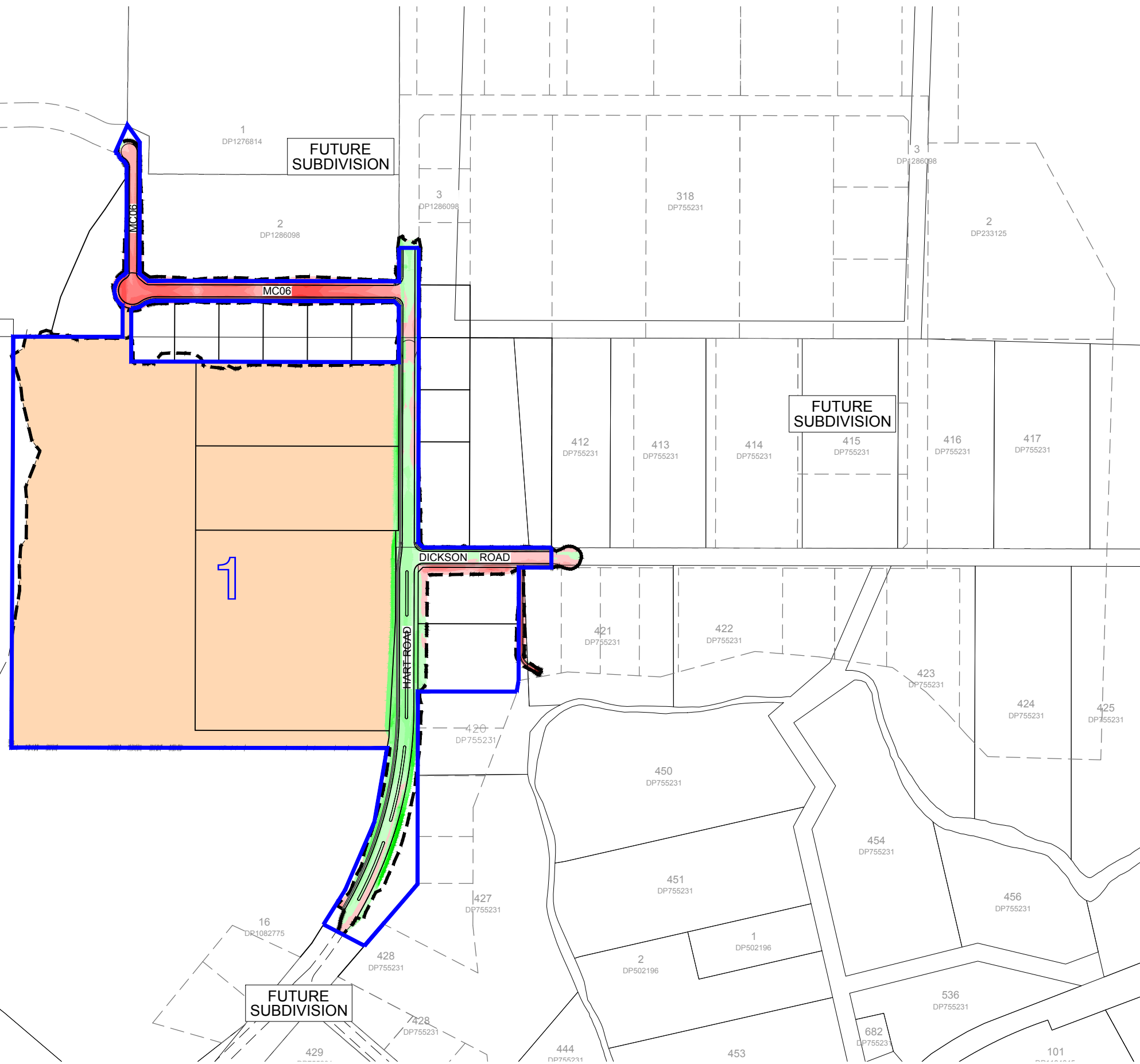
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Lower_value	Upper_value	Colour
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-4	to -3.5	m
-3.5	to -3	m
-3	to -2.5	m
-2.5	to -2	m
-2	to -1.75	m
-1.75	to -1.5	m
-1.5	to -1.25	m
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-1	to -0.75	m
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-0.5	to -0.25	m
-0.25	to -0.01	m
0.01	to 0.250	m
0.250	to 0.5	m
0.500	to 0.75	m
0.75	to 1	m
1	to 1.25	m
1.25	to 1.5	m
1.5	to 1.75	m
1.75	to 2	m
2	to 2.5	m
2.5	to 3	m
3	to 3.5	m
3.5	to 4	m
4	to 5	m

**LEGEND**

 PROPOSED REGRADE AREA

- LOT FILL REMEDIATION**
1. REGRADE AREA TO BE STRIPPED TO STOCKPILE FOR REUSE.
  2. FILL REGRADE AREAS WITH SITE WON FILL (INCLUDING STOCKPILE) IN ACCORDANCE WITH GEOTECH REPORT. EARTHWORKS TO BE UNDERTAKEN UNDER LEVEL 1 SUPERVISION IN ACCORDANCE WITH AS3798-2007. NO FILL TO BE PLACED WITHOUT PRIOR APPROVAL FROM GEOTECHNICAL ENGINEER.



PLAN  
SCALE 1:2500

**NOT FOR CONSTRUCTION**



REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES	 Hunter Office Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	CLIENT	 McCLOY GROUP	PROPERTY DESCRIPTION		PROJECT				
A	08.02.2023	INITIAL ISSUE	L.S.	G.A.	T.L.	R.K.	0 50 100 A1 / A3 1:2500 / 1:5000						REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW		PROPOSED INDUSTRIAL		
B	02.06.2023	REVISED ISSUE	D.N.	R.B.	H.J.	R.K.							PLAN TITLE				
C	12.10.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.							SITE REGRADE PLAN: STAGE 1				
D	22.11.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.											
E	21.08.2024	REVISED ISSUE	L.S.	H.J.	H.J.	G.A.											
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Plotted By: Leah Swain Plot Date: 23/08/24 11:59:28AM Cad File: N:\240289\240289(3A)\DWG\ENGINEERING\CENG\240289(3A)-CENG-501[E].DWG			ADW Johnson		ADW Johnson		GDA94 M.G.A. ZONE 56 A.H.D.		240289(3A)		CENG		501		E		

100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.

240289(3A)-CENG-502[E]

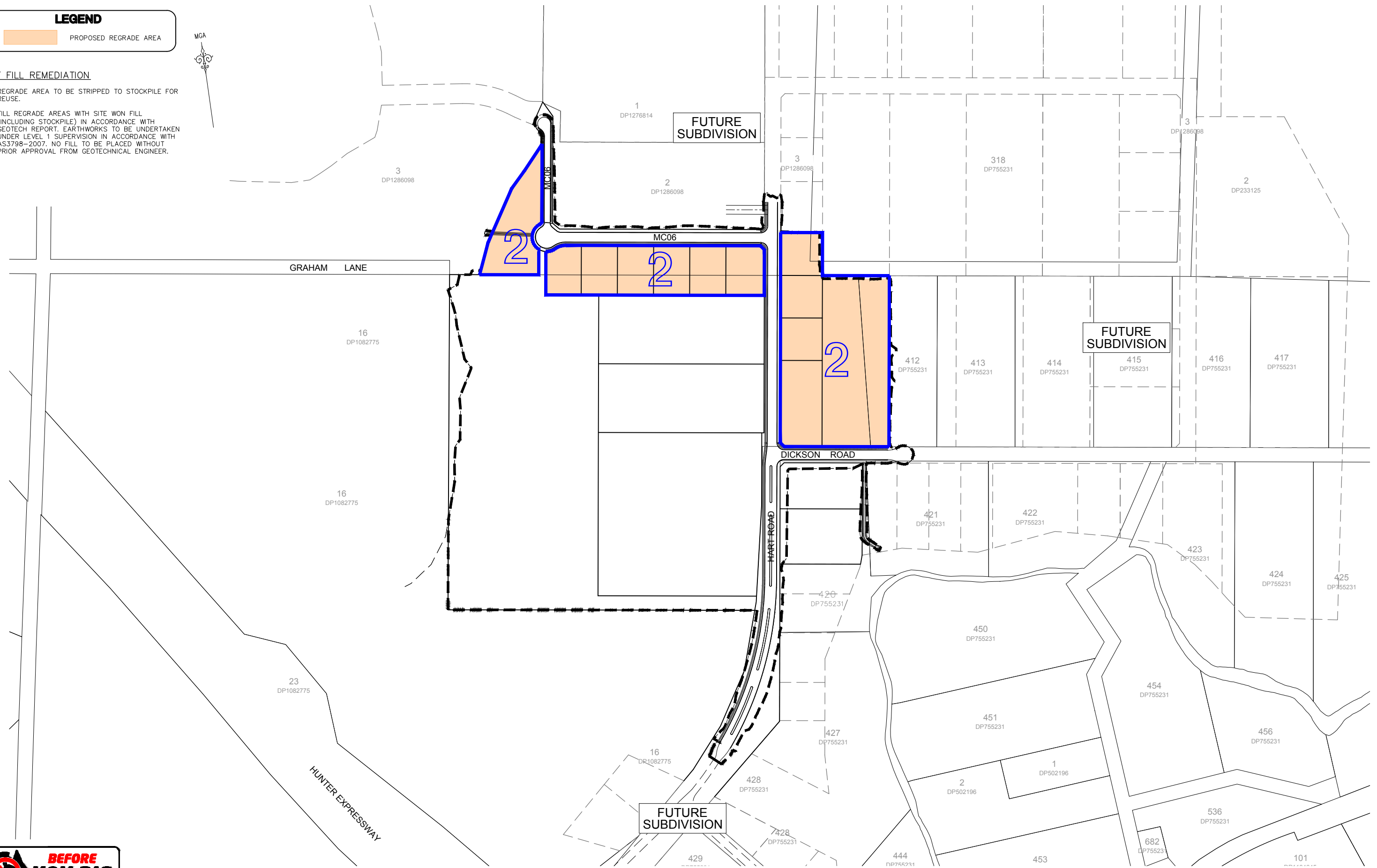
**LEGEND**

PROPOSED REGRADE AREA

MGA

**LOT FILL REMEDIATION**

1. REGRADE AREA TO BE STRIPPED TO STOCKPILE FOR REUSE.
2. FILL REGRADE AREAS WITH SITE WON FILL (INCLUDING STOCKPILE) IN ACCORDANCE WITH GEOTECH REPORT. EARTHWORKS TO BE UNDERTAKEN UNDER LEVEL 1 SUPERVISION IN ACCORDANCE WITH AS3798-2007. NO FILL TO BE PLACED WITHOUT PRIOR APPROVAL FROM GEOTECHNICAL ENGINEER.



PLAN  
SCALE 1:2500

**NOT FOR CONSTRUCTION**



REV.	DATE	AMENDMENT
A	08.02.2023	INITIAL ISSUE
B	02.06.2023	REVISED ISSUE
C	12.10.2023	REVISED ISSUE
D	22.11.2023	REVISED ISSUE
E	21.08.2024	REVISED ISSUE

DRAWN	CHECK	DESIGN	VERIFY
L.S.	G.A.	T.L.	R.K.
D.N.	R.B.	H.J.	R.K.
L.S.	G.A.	T.L.	G.A.
L.S.	G.A.	T.L.	G.A.
L.S.	H.J.	H.J.	G.A.

SCALES
0 50 100 A1 / A3 1:2500 / 1:5000

**adw Johnson**  
 Hunter Office  
 Unit 7/335 Hillsborough Rd  
 Warners Bay N.S.W. 2282  
 Phone: (02) 4978 5100  
 Fax: (02) 4978 5199  
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 www.adwjohnson.com.au  
 ABN 62 129 445 398

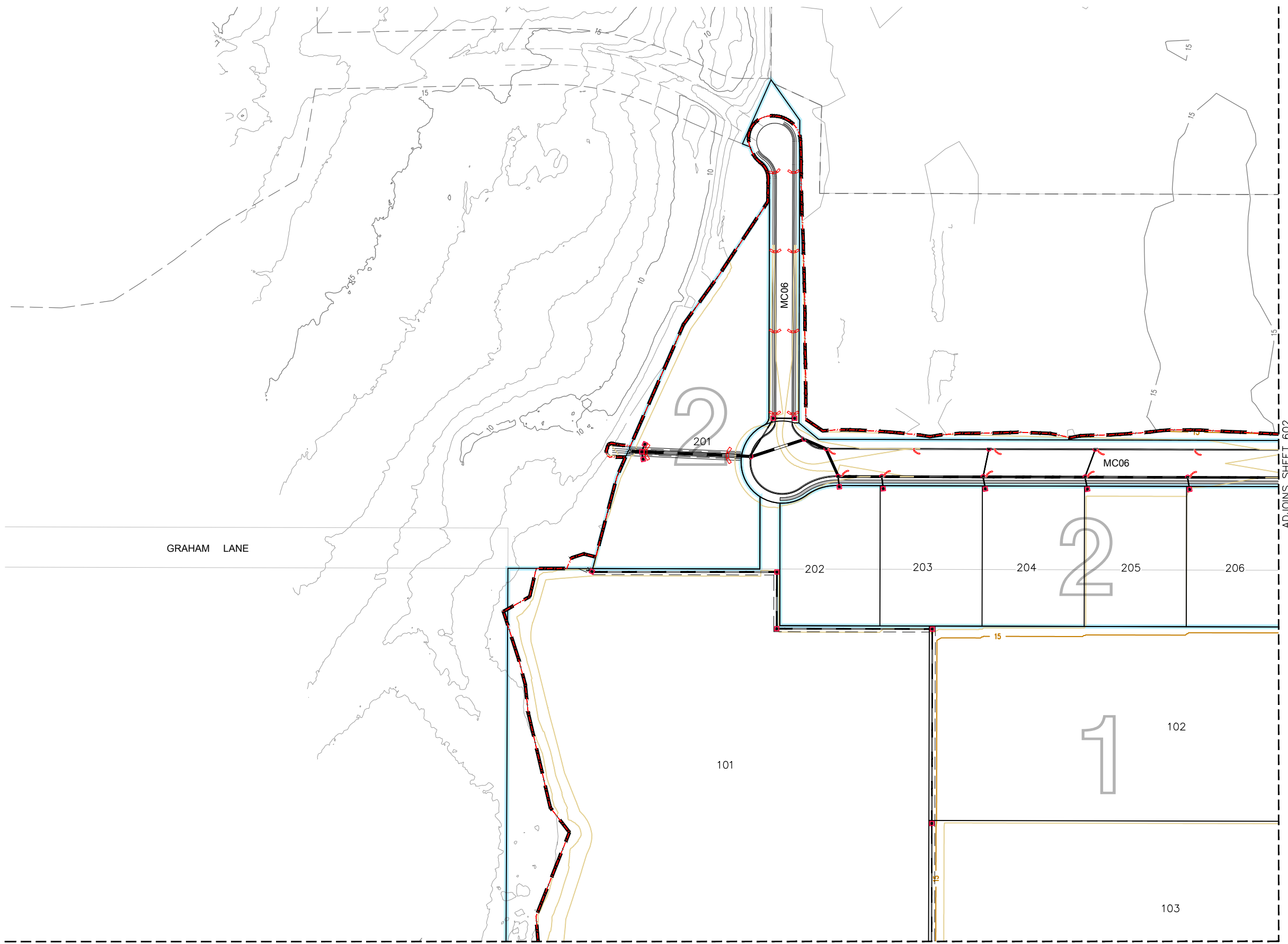
CLIENT

PROPERTY DESCRIPTION  
 REGROWTH KURRI KURRI  
 INDUSTRIAL STAGE 1 & 2  
 LOXFORD NSW

PROJECT	PLAN TITLE
PROPOSED INDUSTRIAL	SITE REGRADE PLAN: STAGE 2

PROJECT No.	DISCIPLINE	NUMBER	REV.
240289(3A)	CENG	502	E

100mm AT FULL SIZE  
 This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.



**LEGEND**

- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- LIMIT OF CONSTRUCTION
- PROPOSED KERB
- DESIGN SURFACE CONTOURS
- EXTENT OF BATTER
- PROPOSED STORMWATER
- FUTURE STORMWATER
- SILT FENCE
- CONSTRUCTION ACCESS
- PROPOSED STOCKPILE LOCATION
- GEOTEXTILE INLET FILTER
- MESH & GRAVEL INLET FILTER
- GRAVEL BAG
- STRAW BALE FILTER
- DIRTY WATER DIVERSION DRAIN

CONTOUR INTERVAL = 1.0m



PLAN  
SCALE 1:1000

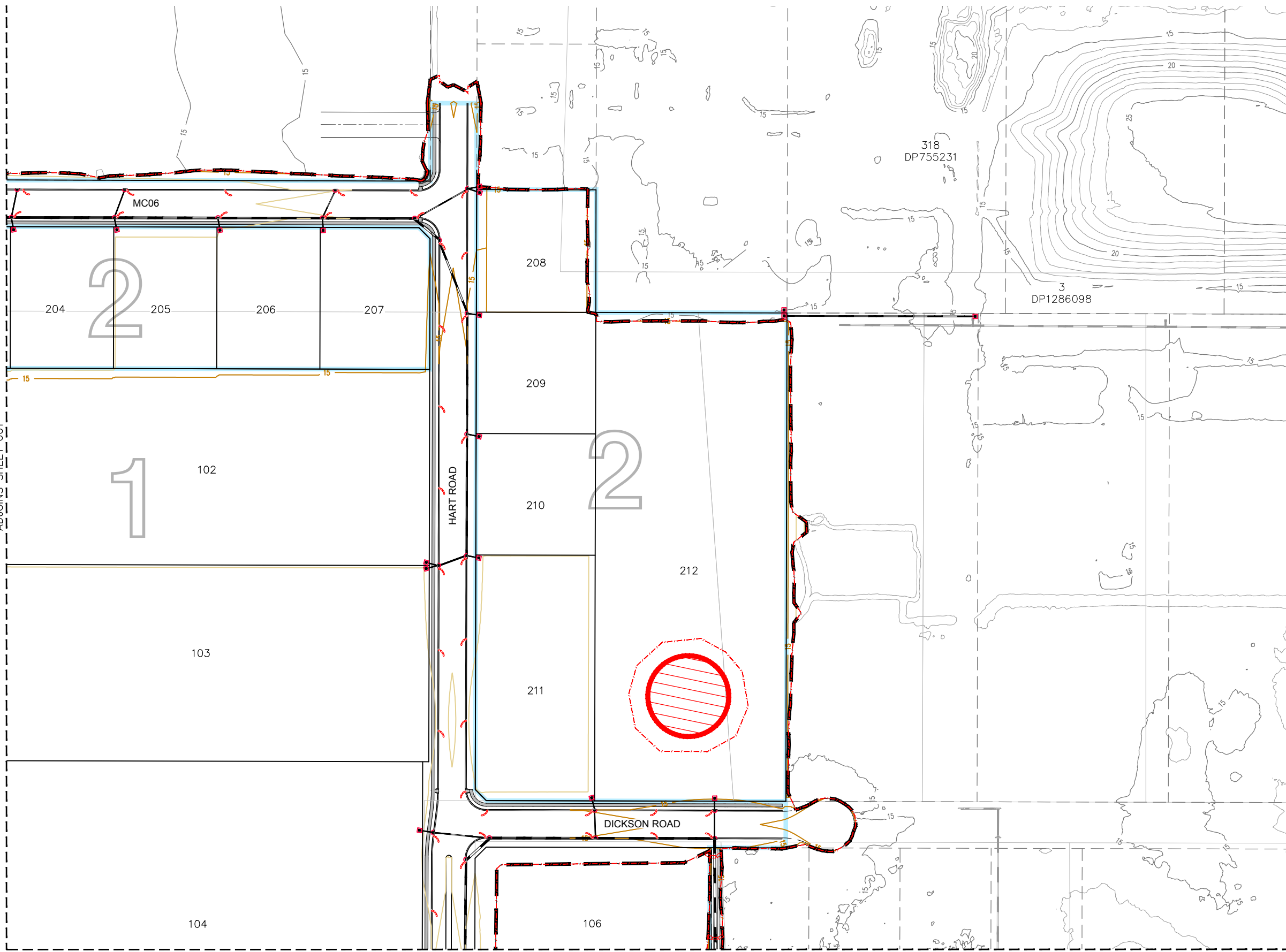
NOT FOR CONSTRUCTION

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES	 Hunter Office Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	CLIENT		PROPERTY DESCRIPTION REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW	PROJECT PROPOSED INDUSTRIAL							
A	08.02.2023	INITIAL ISSUE	L.S.	G.A.	T.L.	R.K.	 1:1000 / 1:2000					PLAN TITLE							
B	02.06.2023	REVISED ISSUE	D.N.	R.B.	H.J.	R.K.						EROSION AND SEDIMENT CONTROL							
C	12.10.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.						PLAN: SHEET 01							
D	22.11.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.													
E	21.08.2024	REVISED ISSUE	L.S.	H.J.	H.J.	G.A.													
DESIGN FILE N:\240289\Design\12D\240289 INDUSTRIAL\240289 INDUSTRIAL.project ALL DIMENSIONS ARE IN METRES U.N.O. DO NOT SCALE								SURVEYED ADW Johnson		DATUM GDA94 M.G.A. ZONE 56 A.H.D.		PROJECT No. 240289(3A) - CENG - 601		DISCIPLINE CENG		NUMBER 601		REV. E	



240289(3A)-CENG-602[E]

ADJOINS SHEET 601



**LEGEND**

- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- LIMIT OF CONSTRUCTION
- PROPOSED KERB
- DESIGN SURFACE CONTOURS
- EXTENT OF BATTER
- PROPOSED STORMWATER
- FUTURE STORMWATER
- SILT FENCE
- CONSTRUCTION ACCESS
- PROPOSED STOCKPILE LOCATION
- GEOTEXTILE INLET FILTER
- MESH & GRAVEL INLET FILTER
- GRAVEL BAG
- STRAW BALE FILTER
- DIRTY WATER DIVERSION DRAIN

CONTOUR INTERVAL = 1.0m

100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.



ADJOINS SHEET 604

PLAN  
SCALE 1:1000

**NOT FOR CONSTRUCTION**

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY
A	08.02.2023	INITIAL ISSUE	L.S.	G.A.	T.L.	R.K.
B	02.06.2023	REVISED ISSUE	D.N.	R.B.	H.J.	R.K.
C	12.10.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.
D	22.11.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.
E	21.08.2024	REVISED ISSUE	L.S.	H.J.	H.J.	G.A.

SCALES	
0 10 20 30 40	A1 / A3 1:1000 / 1:2000

**adw Johnson**  
Hunter Office  
Unit 7/335 Hillsborough Rd  
Warners Bay N.S.W. 2282  
Phone: (02) 4978 5100  
Fax: (02) 4978 5199  
email: hunter@adwjohnson.com.au  
www.adwjohnson.com.au  
ABN 62 129 445 398

CLIENT  
**McCLOY GROUP**

PROPERTY DESCRIPTION		
REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW		
SURVEYED	DATUM	
ADW Johnson	GDA94 M.G.A. ZONE 56	A.H.D.

PROJECT			
PROPOSED INDUSTRIAL			
PLAN TITLE			
EROSION AND SEDIMENT CONTROL PLAN: SHEET 02			
PROJECT No.	DISCIPLINE	NUMBER	REV.
240289(3A)	CENG	602	E

240289(3A)-CENG-603[E]

100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.

ADJOINS SHEET 601

MGA

LEGEND	
	PROPOSED LOT BOUNDARY
	EXISTING LOT BOUNDARY
	LIMIT OF CONSTRUCTION
	PROPOSED KERB
	DESIGN SURFACE CONTOURS
	EXTENT OF BATTER
	PROPOSED STORMWATER
	FUTURE STORMWATER
	SILT FENCE
	CONSTRUCTION ACCESS
	PROPOSED STOCKPILE LOCATION
	GEOTEXTILE INLET FILTER
	MESH & GRAVEL INLET FILTER
	GRAVEL BAG
	STRAW BALE FILTER
	DIRTY WATER DIVERSION DRAIN

CONTOUR INTERVAL = 1.0m

101

104

101

ADJOINS SHEET 604

1



PLAN  
SCALE 1:1000

**NOT FOR CONSTRUCTION**

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES	CLIENT	PROPERTY DESCRIPTION	PROJECT				
A	08.02.2023	INITIAL ISSUE	L.S.	G.A.	T.L.	R.K.	 1:1000 / 1:2000	<b>Hunter Office</b> Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	<b>REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 &amp; 2 LOXFORD NSW</b>	<b>PROPOSED INDUSTRIAL</b>  EROSION AND SEDIMENT CONTROL PLAN: SHEET 03				
B	02.06.2023	REVISED ISSUE	D.N.	R.B.	H.J.	R.K.								
C	12.10.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.								
D	22.11.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.								
E	21.08.2024	REVISED ISSUE	L.S.	H.J.	H.J.	G.A.								
DESIGN FILE N:\240289\Design\12D\240289 INDUSTRIAL\240289 INDUSTRIAL.project ALL DIMENSIONS ARE IN METRES U.N.O. DO NOT SCALE								<b>McCLOY GROUP</b>	SURVEYED ADW Johnson	DATUM GDA94 M.G.A. ZONE 56 A.H.D.	PROJECT No. <b>240289(3A)</b>	DISCIPLINE <b>CENG</b>	NUMBER <b>603</b>	REV. <b>E</b>








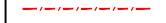








Plotted By: Leah Swain Plot Date: 23/08/24 11:59:50AM Cad File: N:\240289\240289(3A)\DWG\ENGINEERING\CENG\240289(3A)-CENG-603[E].DWG

240289(3A)-CENG-604[E]

ADJOINS SHEET 602

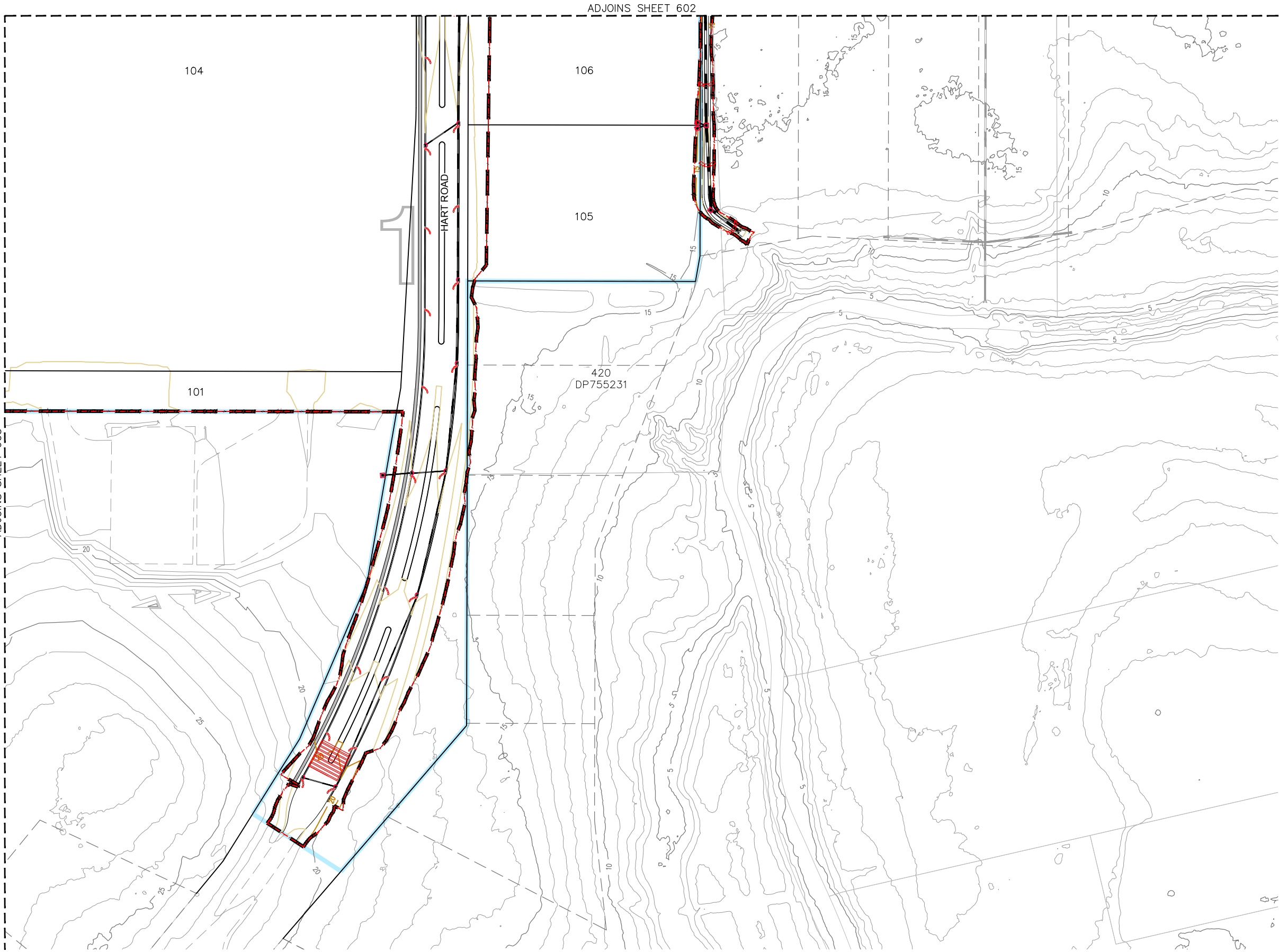
MGA

**LEGEND**

-  PROPOSED LOT BOUNDARY
-  EXISTING LOT BOUNDARY
-  LIMIT OF CONSTRUCTION
-  PROPOSED KERB
-  DESIGN SURFACE CONTOURS
-  EXTENT OF BATTER
-  PROPOSED STORMWATER
-  FUTURE STORMWATER
-  SILT FENCE
-  CONSTRUCTION ACCESS
-  PROPOSED STOCKPILE LOCATION
-  GEOTEXTILE INLET FILTER
-  MESH & GRAVEL INLET FILTER
-  GRAVEL BAG
-  STRAW BALE FILTER
-  DIRTY WATER DIVERSION DRAIN

CONTOUR INTERVAL = 1.0m

ADJOINS SHEET 603



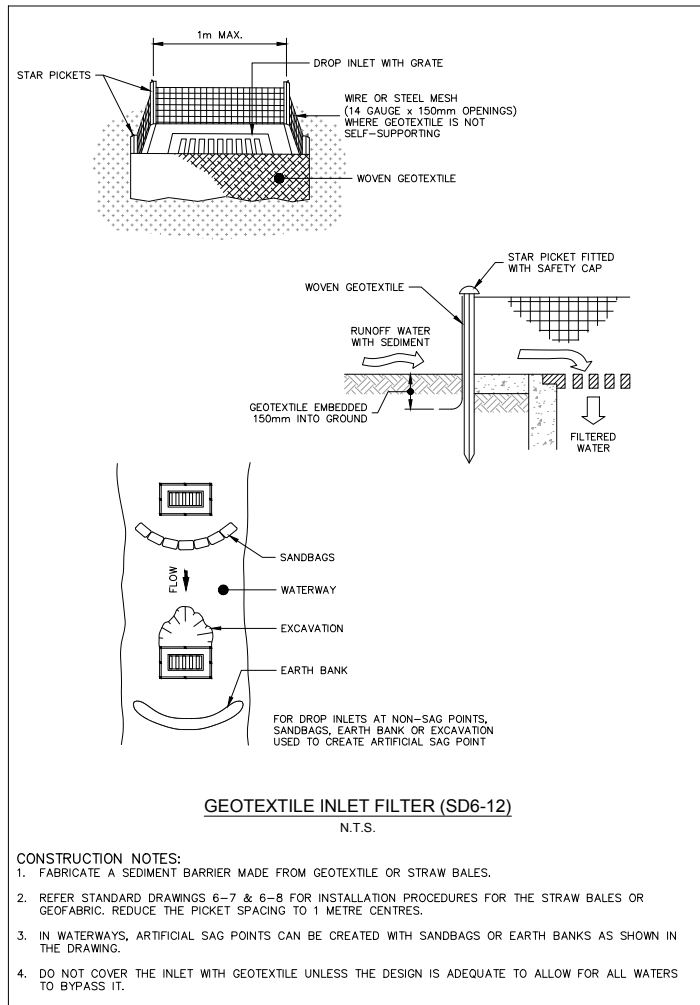
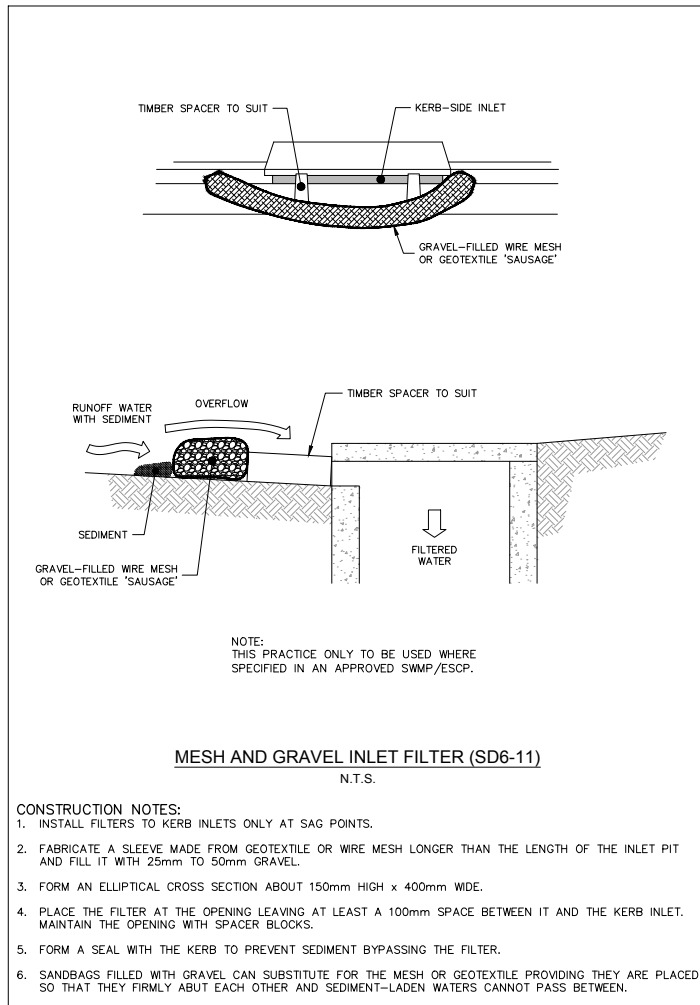
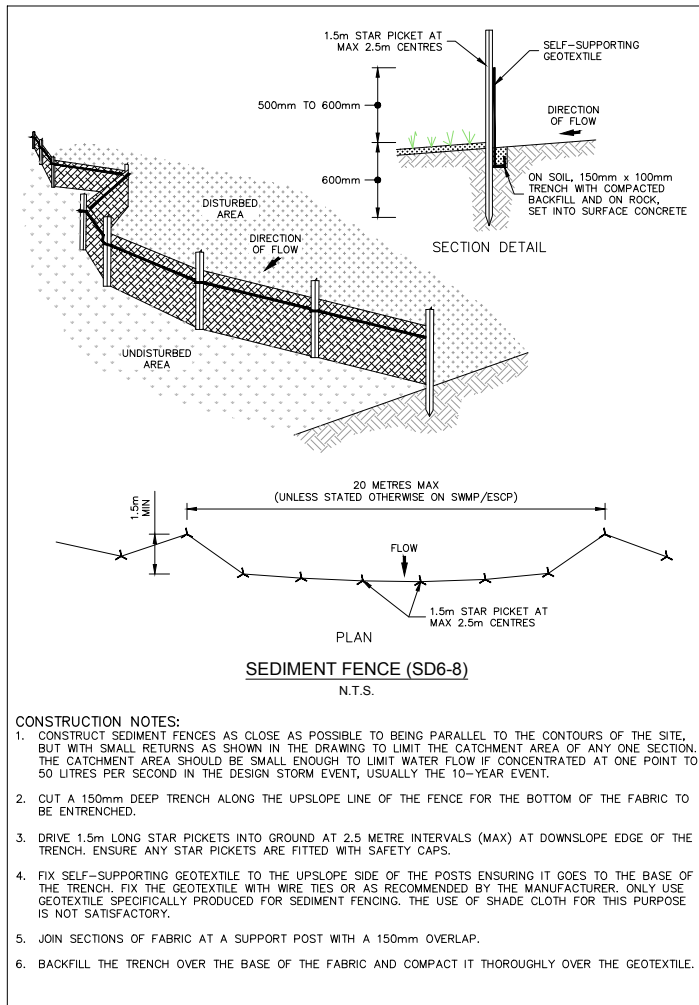
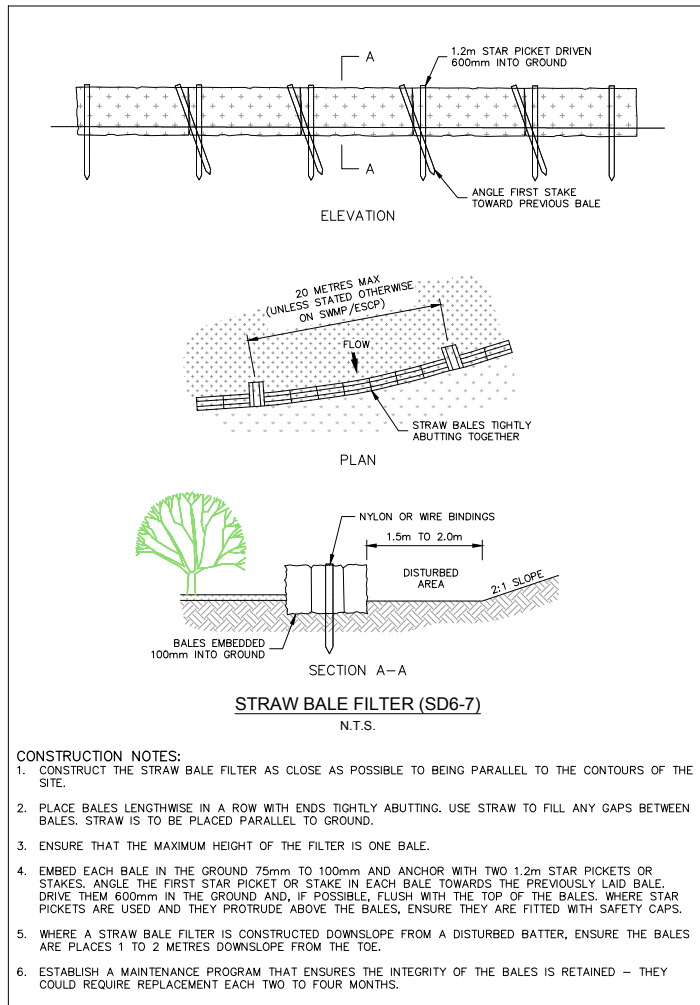
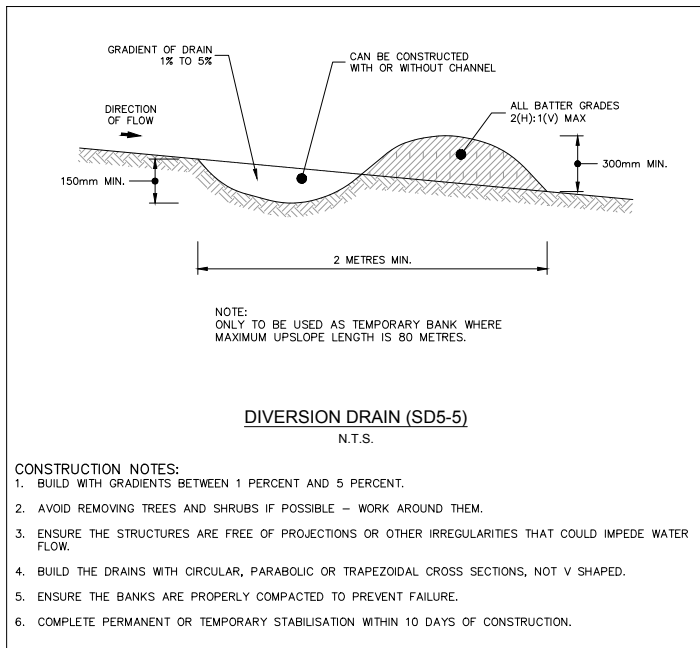
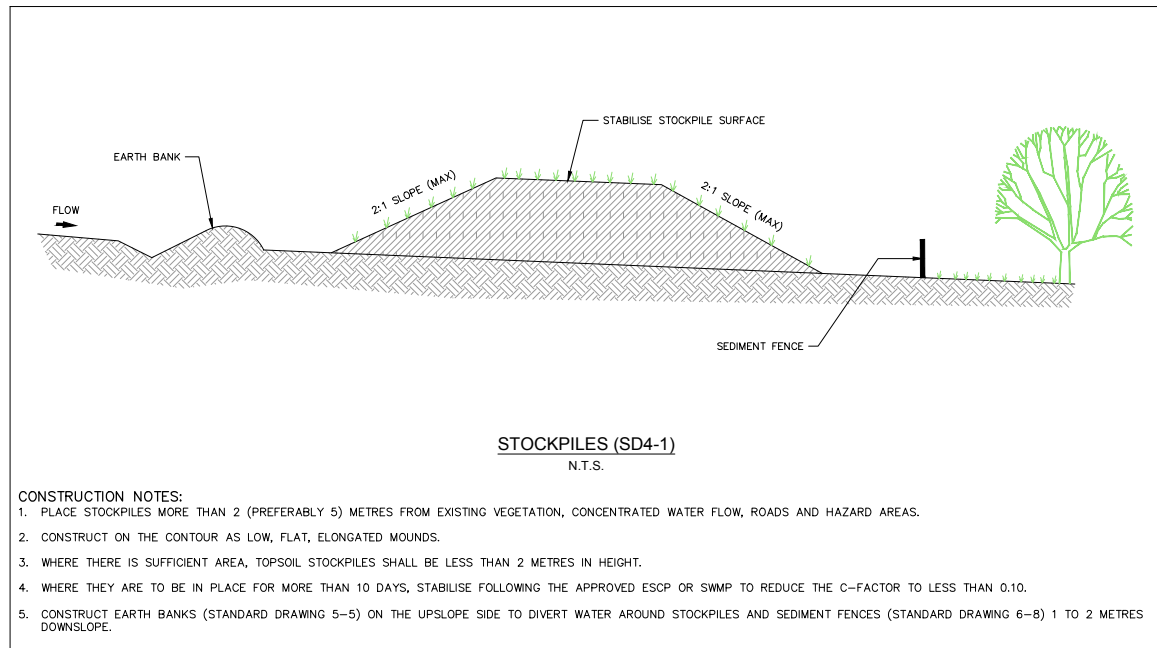
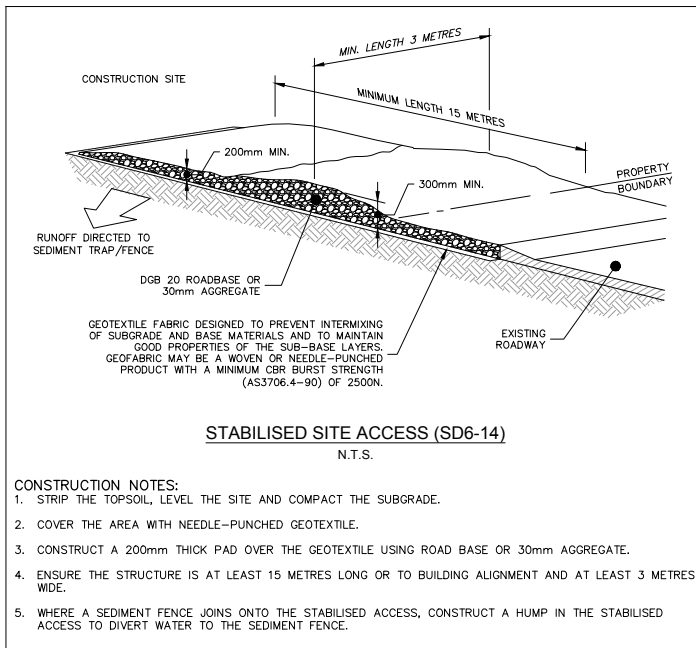
100mm AT FULL SIZE  
This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.



PLAN  
SCALE 1:1000

**NOT FOR CONSTRUCTION**

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES	CLIENT		PROPERTY DESCRIPTION		PROJECT			
A	08.02.2023	INITIAL ISSUE	L.S.	G.A.	T.L.	R.K.	 1:1000 / 1:2000		Hunter Office Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398		REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW		PROPOSED INDUSTRIAL		
B	02.06.2023	REVISED ISSUE	D.N.	R.B.	H.J.	R.K.							PLAN TITLE		
C	12.10.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.							EROSION AND SEDIMENT CONTROL		
D	22.11.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.							PLAN: SHEET 04		
E	21.08.2024	REVISED ISSUE	L.S.	H.J.	H.J.	G.A.							SURVEYED	DATUM	PROJECT No.
								ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	240289(3A)	CENG	604	E		



**NOT FOR CONSTRUCTION**

REV.	DATE	AMENDMENT	DRAWN	CHECK	DESIGN	VERIFY	SCALES	CLIENT	PROPERTY DESCRIPTION	PROJECT	PLAN TITLE	SURVEYED	DATUM	PROJECT No.	DISCIPLINE	NUMBER	REV.
A	08.02.2023	INITIAL ISSUE	L.S.	G.A.	T.L.	R.K.		Hunter Office Unit 7/335 Hillsborough Rd Warners Bay N.S.W. 2282 Phone: (02) 4978 5100 Fax: (02) 4978 5199 email: hunter@adwjohnson.com.au www.adwjohnson.com.au ABN 62 129 445 398	REGROWTH KURRI KURRI INDUSTRIAL STAGE 1 & 2 LOXFORD NSW	PROPOSED INDUSTRIAL	EROSION AND SEDIMENT CONTROL DETAILS	ADW Johnson	GDA94 M.G.A. ZONE 56 A.H.D.	240289(3A)	CENG	611	E
B	02.06.2023	REVISED ISSUE	D.N.	R.B.	H.J.	R.K.											
C	12.10.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.											
D	22.11.2023	REVISED ISSUE	L.S.	G.A.	T.L.	G.A.											
E	21.08.2024	REVISED ISSUE	L.S.	H.J.	H.J.	G.A.											